

McCALL AREA

PLANNING AND ZONING COMMISSION

Agenda

January 4th, 2021 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 East Park Street, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter Conference ID 757 723 342#. If there are any questions, contact Brian Parker, City Planner (see contact info below).

The Meeting Room Occupancy Capacity in Legion Hall is 15, and subject to the 6-foot social distancing recommendation of Centers for Disease Control and Prevention. This allows space for 9 people in addition to the Commissioners and staff who are anticipated to be in attendance (7).

Social Distancing will be enforced, Masks are required in city facilities.

The first 8 persons who appear will be allowed to be present in the meeting location. All other persons may be in attendance virtually via Teleconference.

COMMISSION MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL

1. REVIEW & APPROVAL OF MINUTES

- December 7th, 2021 P&Z Minutes

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

There were no Preliminary Development Plan Review Applications submitted for the January 4th meeting

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a Commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

ROS-21-19 (ACTION ITEM)

TBD Paul Bunyan Road

Steven Millemann for Richard and Michelle Mooney and Summit Resources LTD: A Record of Survey application to adjust the lot line between two parcels and transfer 0.08 acres from Parcel A to Parcel B resulting in 2 parcels of 1.08 acres and 0.92 acres (40,006 sq. ft.) respectively. The property is zoned R1 – 1 Acre Residential and is more particularly described as:

McCall Acreage Tx Parcels No. 50 and 69, situate in the SE ¼ of the SE ¼ of the SW ¼ of Section 6, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

4. OLD BUSINESS

DR-21-11 (ACTION ITEM)

1040 Chris Lane

Linzie & Amber Green: A Design Review application to construct a 1,740 square foot garage with storage loft addition to an existing residence. The property is zoned R1 – Residential and is more particularly described as:

Lot 95 of the Valley View Subdivision III situate in the SW ¼ of the NE ¼ of Section 30, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

CUP-21-04 (ACTION ITEM)

201 Rio Vista Boulevard

Susan Evans: An application for a Conditional Use Permit and Design Review to expand the use of the Bed & Breakfast/Short Term Rental and the property to be an Event/Activities Venue. The Conditional Use Permit and Design Review applications propose to do a high level of landscaping on the property as part of the Event Venue, and expand the size of the Carport, attached to the main building, from 1 car to 3 cars for a total building square footage of approximately 5,600 square feet. The 4.86 acre property is zoned R1 – 1 acre Residential, and is more particularly described as:

Situated in the E1/2 of the SW1/4 of the NW1/4 of the NW1/4 of Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

5. NEW BUSINESS

DR-21-37, SH-21-13 & SR-21-19 (ACTION ITEM)

1940 Warren Wagon Road

Jevon Truex for Mark & Geri Bottles: An application for Design, Shoreline, and Scenic Route Review to construct a new, single-family residence totaling 7,181 sq. feet including a covered deck and attached 3-car garage. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 6 of the Payette Lakes Cottage Sites, situated in Section 32, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

DR-21-40 (ACTION ITEM)

120 Idaho Street

Travis Burrows of Design West for the McCall-Donnelly School District: An application for Design Review to construct a new, 4,000 square foot, single story office building in the same location as the existing School District office, to replace the old building. The new building design includes additional office space and a board room to allow more space for public meetings, as well as patio space for outdoor meetings. The property is zoned CV – Civic, and is more particularly described as:

Portions of Block 2 and all of Blocks 3 & 4 of the Hoff & Brown Subdivision, situated in the SW ¼ of the SW ¼ of Section 9, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

DR-21-41 & SH-21-15 (ACTION ITEM)

2252 Payette Drive

Luke Vannoy for Ken Desgarenes: An application for Design Review and Shoreline Environs Zone Review to construct a new, 1,491 square foot, detached shop/garage building, remodel and add a covered deck to an existing Accessory Dwelling Unit and remodel the existing primary residence. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 56 and the W ½ of Lot 57 of the Amended Plat of the Payette Lake Cottage Sites, situate in the SE ½ of the W ½ of Section 33, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

6. OTHER

- Selection of 1 new Area of Impact Commissioner
- Signs approved administratively
- **Review of 2022 Bylaws & Election of Officers**

7. ADJOURNMENT

American with Disabilities Act Notice: The Planning and Zoning Commission meeting room is accessible to persons with disabilities. If you need assistance, contact City Hall at 634-7142. Please allow 48 hours.

McCALL AREA
PLANNING AND ZONING COMMISSION
Minutes
December 7th, 2021 – 4:30 p.m.
McCall City Hall – Lower Level & MStTeams Teleconference
216 East Park Street, McCall, ID 83638

COMMISSION MEETING – Began at 4:31 p.m.

CALL TO ORDER AND ROLL CALL – *Commissioner Johanna Krahn had resigned following the November meeting due to being promoted at work and therefore her seat representing the City Area of Impact is being advertised to be filled. Commissioners Kinzer & Nemecek were in attendance virtually. Commissioner Moss, Chairman Lyons, Commissioner Tunnell, and Commissioner Rock were present. Meredith Todd (Assistant Planner), Brian Parker (City Planner), Michelle Groenevelt (CED Director), Morgan Stroud (Staff Engineer) and Bill Punkoney (City Land Use Attorney) were also present.*

1. REVIEW & APPROVAL OF MINUTES

- November 2nd, 2021 Minutes

Commissioner Rock made a motion to approve the minutes, Chair Lyons seconded the motion; all commissioners voted aye and the motion carried.

Housekeeping

Planner Parker mentioned that Mr. Green, the applicant for DR-21-11, had a Basketball Game to coach and that the item should be moved to *before OLD BUSINESS* in an effort to accommodate his conflict.

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-Application for a PUD, CUP, & SUB

TBD Clements or TBD Divot Lane/TBD Wooley Ave

Jim Fronk for Core Building Company, Inc: A pre-application for a PUD, SUB, and CUP to construct a multifamily, residential development on 1.778 acres. The property is zoned R8 – Medium Density Residential, and is more particularly described as:

Tax lot no. 404, situate in the SE ¼ of the NE ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho.

Jim Fronk of 14028 Norwood Rd, McCall presented the preliminary plan for a Planned Unit Development on a property 1.78 acres in size. He mentioned hoping to provide some local housing units within the development depending on what access, wetland, and topographical challenges would be posed along the way. Aligning Divot/Clements with road to the south would be a priority, and a non-wetland on the site as well as trees would be protected as much as possible. There will likely be 12 units total. Commissioners had some questions about the wetlands and how they assist with snow storage.

Pre-Application for a PUD, CUP, & SUB

TBD Dawson Ave or TBD Wooley Ave

Jim Fronk for HTW McCall, LLC: A pre-application for a Rezone, PUD, SUB, and CUP to construct a multifamily, residential development on 3.59 acres. The property is zoned R8 – Medium Density Residential, and is more particularly described as:

Tax lot no. 408 in government Lot 1, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho.

Jim Fronk of 14028 Norwood Rd McCall & Steve Millemann presented the preliminary plan for a Planned Unit Development at Wooley & Dawson Ave. This project would be aiming for 30 total units: 24 - 2 story duplex units and 6 triplex units. These lots are topographically challenging and have a major drainage running through the site carrying stormwater from Spring Mountain Ranch all the way to Mill St. The wetlands delineated on the site as shown currently accommodate the possibility they will be designated US Wetlands by the Army Corps of Engineers. The property contains a recreation and utilities easement that will need improvement. A challenge to building the required pathway or sidewalk connection envisioned on Davis Avenue will likely be the width of the Davis Avenue Right-Of-Way (50 feet) and the high hill with a deep road cut needed on the West side of Davis Ave. Chair Lyons asked for clarification on whether the Local-Housing Density Bonus would entitle the additional units, or if that would be through a formal rezone.

Pre-Application for a PUD, CUP, & SUB

TBD Roosevelt Ave

Jim Fronk for Tom Koltes: A pre-application for a PUD, SUB, and CUP to construct a mixed residential, single family and multifamily development on 4.95 acres. The property is zoned R4 – Low Density Residential, and is more particularly described as:

Situate in the NW ¼ of the NE ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho.

Jim Fronk of 14028 Norwood Rd McCall 83638 presented the preliminary plan for a Planned Unit Development at the old railroad turnaround/McCall Mill Yard site. The area has become a large drainage area for Aspen Village and Golden Glove Park and has some existing jurisdictional wetlands that will need permitted mitigation to allow for building. There are two plan options for the location to include either lower density, single-family residential focused around a cul-de-sac or some single-family lots and some townhomes with a thru-street.

City Staff discourages cul-de-sacs and would not accept any cul-de-sac as a public street. Commissioner Nemec asked whether there was an alternative connection anywhere along the NW property line. There is privately held property along that property line so at this time an alternative is not available.

Pre-Application for a PUD, CUP, & SUB

410 S 3rd Street

Jeff Hatch and David Ferrette: A pre-application for a PUD, SUB, and CUP to construct unmanned storage buildings to accommodate small and large storage units, as well as RV and boat storage. The perimeter will be surrounded by a wall, and entry will be via remote access. The property is zoned **CC – Community Commercial** and is more particularly described as:

McCall Acreage Tax lots 57-B, 60, and 128, situate in the SW ¼ of the SE ¼ of Section 16, T18N, R3E, B.M, City of McCall, Idaho.

Jeff Hatch of 200 W (8th St) Boise 83712 and David Ferrette presented their application to construct a storage facility on the West side of Elo Road along the Scenic Route of Hwy 55 South of town. Primary access would be taken perpendicular to Krahn Lane off of Highway 55. LuxeLocker representative, David Ferrette expressed that units would be condo-ed off and depending on availability, units could be eligible for sewer/water hookups. The property would also likely include RV dumpsites.

Commissioner Nemec asked whether buildings D & E would be fronting Hwy 55 themselves. The presenters clarified that the backs of the building would be facing Hwy 55, and the front would be

accessed internally. They have currently planned for approximately 20% of space available for snow storage, and hope to create a large landscaped berm utilizing native plants and grasses to screen the development from the Highway, which is a designated Scenic Route in the McCall Planning Jurisdiction.

Chairman Lyons asked Planner Parker to discuss the Airport Master Plan and how the access points proposed would interact with future extension of Krahn Lane to the West. Mr. Parker mentioned there would likely be conflict at that access point and that access would need to be resolved collaboratively between ITD, the Airport, and the development.

Commissioner Tunnell emphasized that this project's location along the Scenic Route will provide design challenges, given the nature of storage units having an excess of blank walls and marginal landscaping. He mentioned that mitigating the visual impacts with as much dense landscaping would be the best course of action for working with the expectations of the Planning Commission. Commissioner Tunnell also mentioned the need for rendered elevations to be submitted to represent the landscaping and design plans from the road way and neighboring properties.

City Engineer, Morgan Stroud, mentioned there being a drainage ditch running through the middle of the property and that improvements would be required to protect/reroute the drainage pattern so it would not be an exacerbated problem in the future. The presenters mentioned they had already contracted for a topographical and geological analysis of the site to learn more about what drainage or other engineering concerns could be anticipated.

Pre-Application for a PUD, CUP, & SUB

TBD Elo Road

Ross Vontver for Where Toys Live, LLC: A pre-application for a PUD, SUB, and CUP to construct privately owned garage/storage condominiums to complement surrounding subdivisions. The property is zoned **RE – Rural Estate** and is more particularly described as:

Amended Tax Parcel No. 126, situate in the NW ¼ of the SW ¼ of Section 22, T18N, R3E, B.M, Valley County, Idaho.

Amy Holm of 706 N First St, McCall for Where Toys Live, LLC presented the preliminary plan for a Planned Unit Development for condo-storage units East of Samson Trail and South of Elo Road. The units would be for individual sale and be wholly, privately owned. The units would not be commercially rented and all be private. The property owners are local to the area and there is a local contractor, a local surveyor, and full team prepared to contribute to the effort. Commissioners asked for some clarification on access off of Samson Trail and for clarification on the location of the site. It has most frontage along Elo Road, and may have an access point on Elo and one on Samson (with an approach longer than 200 feet in length across the neighboring property). The applicants would be interested in providing a naturally surfaced path or bikepath as envisioned in the Pathways Master Plan along Elo Road.

3. CONSENT AGENDA

There were no items on the consent agenda, so the Commission proceeded to DR-21-11 due to earlier scheduling housekeeping. Given the amount of time spent on Preliminary Development Review presentations, Mr. Green had to leave to attend his commitment.

Commissioner Tunnell made a motion to move DR-21-11 back to the end of the meeting. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

4. OLD BUSINESS

DR-20-44 (ACTION ITEM)

641 Stockton Drive

Charles Carpy: A Design Review application to construct an approximately 5,100 square foot, two story residence with attached garage. The property is zoned R1 – Residential and is more particularly described as:

Tax Parcel Number 43 in Lot 53, Block 1 of West Place Subdivision situate in the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Charles Carpy of 641 Stockton Drive presented the further revisions to his application done by a landscape architect and a licensed architect, as assigned by the commission during his previous hearing in August of 2021. The revisions include a shed roof over the garage, addition of snow cleats, windows added to the blank walls on the North and South faces of the building, and a tall, densely landscaped berm for screening as requested to mitigate the visual impacts for neighboring properties.

Planner Parker summarized the improvements having addressed the requests of the Commission and neighbors at the previous Commission meeting, and numerous Commission meetings over the course of 2021. The application now meets the expectations of the Design Guidelines and should be considered prepared for commission approval.

Chair Lyons opened and closed the Public Hearing with no comments from the public.

Commissioners Rock, Kinzer, Moss, and Nemeč stated they had each reviewed all previous minutes, hearings and materials and would make decision based on the facts and the facts only.

Commissioner Nemeč asked whether the landscaping request, irrigation requirement, access maintenance, and maintenance of landscaped berm would all need to be added to the conditions of approval.

Commissioner Tunnell made a motion to approve with existing conditions, add a condition of a landscaping maintenance document, access easement road maintenance requirement, and irrigation plan. Commissioner Nemeč seconded.

A roll call vote was taken:

Commissioner Kinzer – Yes

Commissioner Nemeč – Yes

Commissioner Rock – Yes

Commissioner Tunnell – Yes

Chairman Lyons – Yes

Commissioner Moss - Yes

5. NEW BUSINESS

DR-21-11 (ACTION ITEM)

1040 Chris Lane

Linzie & Amber Green: A Design Review application to construct a 1,740 square foot garage with storage loft addition to an existing residence. The property is zoned R1 – Residential and is more particularly described as:

Lot 95 of the Valley View Subdivision III situate in the SW ¼ of the NE ¼ of Section 30, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

DR-21-36 (ACTION ITEM)

111 West Lake Street

Lucas Vannoy for Todd Ketlinski: An Application for Design, Shoreline, and Scenic Route Review for a new, single-family residence on the site of the property's existing ADU. The new 6,296 square foot home will include 4 bedrooms, 5.5 bathrooms and an attached 3-car garage. No changes to landscaping on the lake side of the property are proposed. The property is zoned R4 – Low Density Residential, and is more particularly described as:

Lot 1 of the South Shore Subdivision, situated in the NE ¼ of the NE ¼ of the W ½ of Section 8, T18N, R3E, B.M. City of McCall, Valley County, Idaho.

PUBLIC HEARING

Luke Vannoy of McCall Design and Planning presented the Design Review, Scenic Route, and Shoreline application for the applicants. The Ketlinski's desire to redevelop the property at 111 W Lake St and build a new single-family residence. The property was initially purchased with the goal of restoring the historic home on site, but given its nonconforming nature, and the property could not be rebuilt. The existing guesthouse will be donated to the city local housing program and relocated to accommodate the proposed new structure and landscaping.

Mr. Parker gave the staff report mentioning that the overall design is in conformance with the McCall Design Guidelines. The perched beach, retaining walls, and lawn within the shoreline setback are existing/nonconforming but will not be changed in this project so they are permitted to remain. The proposed change to the walls with the stepped back/forward design addresses the blank wall/fencing concerns. While walls, regardless of height are not favorable along a designated Scenic Route, the changes made do accommodate the Scenic Route expectations better than the original design.

Chairman Lyons opened and closed the Public Hearing with no comments from the public.

Commissioners discussed the design and changes to the site as being in good taste and keeping with the McCall Design Guidelines, as well as being a nice improvement along the Scenic Route. Commissioner Tunnell asked whether the Landscaping Plan requested in the Conditions of Approval had been discussed with the applicants. Mr. Parker indicated the condition had been discussed, and that keeping the condition would confirm the landscaping meets the Scenic Route requirements.

Commissioner Tunnell made a motion to approve the application striking Condition 2, and using the fencing plan as updated for the December 7th meeting to show a 4 foot, staggered fence. Commissioner Nemeč seconded. All commissioners voted aye and the motion carried.

All Commissioners voted aye and the motion carried.

DR-21-39 (ACTION ITEM)
1415 Warren Wagon Road

Todd Allen Construction for Leonard Jordan: A design review, scenic route review, and shoreline environs review application to relocate an existing single-family residence, to construct an uncovered deck attached to relocated residence, and to construct a new 6,105 square-foot single-family residence. The property is zoned R4 – Low Density Residential and is more particularly described as:

Tax Lot No. 23, situate in Government Lot 4 of Section 5 & Lot 1 of Block 1, Recorder's Plat, situate in the NE ¼ of Section 8, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Janet Jarvis of Jarvis Group and David Peugh of Epikos Design presented the application for 1415 Warren Wagon Road. Ms. Jarvis described the history of the property and process to move the original 1930 cabin to a new lot adjacent to the site created in a 2021 Record of Survey, and build a new, single-family home on the site of the original building. The goal of the design of the new home is to retain as many existing trees as possible to screen the structure from the Lake and road. They also hope to improve the driveway approach to a safer grade. Mr. Peugh described the landscaping and earthwork planned for the site and mentioned that the stone pathways are not figured into lot coverage calculations because they have permeable mosses in between.

Mr. Parker gave the staff report. And mentioned that the plans push the limits on lot coverage but are within the allowable limit. He mentioned that the Commission could determine whether the stone pathways should be figured into lot coverage, but that the concept has been permitted without being counted as coverage in the past.

Chair Lyons opened and closed the public hearing. (2 Hours and 35 Minutes into the Youtube recording)

Commissioner Nemec made a motion to approve DR-21-39, SH-21-14, and SR-21-20 with conditions as written. Commissioner Tunnell seconded.

All commissioners voted aye and the motion carried.

CUP-21-03 (ACTION ITEM) CONTINUE TO JANUARY 4th, 2022
111 North Samson Trail

An application for a Conditional Use Permit and Design Review to expand the existing use permitted to the school district by constructing an addition of approximately 12,000 sq. feet of classroom space on the Payette Lakes Middle School.

PUBLIC HEARING

Commissioner Tunnell made a motion to continue CUP-21-03 and DR-21-33 to the Planning & Zoning Commission meeting on January 4th, 2022. Commissioner Rock seconded. All commissioners voted aye and the motion carried.

CUP-21-04 (ACTION ITEM)
201 Rio Vista Boulevard

Susan Evans: An application for a Conditional Use Permit and Design Review to expand the use of the Bed & Breakfast/Short Term Rental and the property to be an Event/Activities Venue. The Conditional Use Permit and Design Review applications propose to do a high level of landscaping on

the property as part of the Event Venue, and expand the size of the Carport, attached to the main building, from 1 car to 3 cars for a total building square footage of approximately 5,600 square feet. The 4.86 acre property is zoned R1 – 1 acre Residential, and is more particularly described as:

Situated in the E1/2 of the SW1/4 of the NW1/4 of the NW1/4 of Section 17, T18N, R3E, B.M.,
City of McCall, Valley County, Idaho.

PUBLIC HEARING

Susan Evans of presented the application for a Conditional Use Permit to expand the use of the property at 201 Rio Vista Boulevard to allow events on the property with a total capacity of no more than 110 attendees. She reviewed the history of the historic building on the property and the location between the industrial and low-density residential zones. The CUP would offer the opportunity for weddings or other events to be hosted on the site after landscaping to mitigate noxious weeds. No indoor assembly would be permitted, quiet hours would be from 10:00pm to 8:00am per the City noise ordinance, parking would be on-site only with street parking prohibited. Operations would be focused on running the Bed & Breakfast and Short-Term Rental, and later host family friendly events such as Weddings, Family Reunions, Neighborhood BBQs and Public Gatherings. A manager and basic equipment would be available onsite during any events.

Mr. Parker provided the staff report for the application summarizing that the request is to host events for up to 110 guests, affiliated with a multi-night stay at the property in scenarios such as weddings, family reunions, or community gatherings. The request for higher occupancy for the Short Term Rental has been eliminated.

Commissioners clarified whether a public bus stop was included, and whether any Conditions of Approval placed on the CUP would run with the property or only run with the ownership. Commissioner Kinzer clarified what had been eliminated from the application, including RV hookups.

Chairman Lyons opened the Public Hearing (2 Hours and 58 Minutes into the pt. 1 Youtube video)

Dominick Guliuzza of 297 Rio Vista Boulevard soon to be 210 Rio Vista Boulevard spoke in opposition to the application as it does not meet CUP requirements. Mr. Guliuzza described the unfinished driveway as a representation of the applicants inability to adhere to requirements and example of why any Conditions allowing the CUP to be approved would likely not be adhered to. He presented a photo of the site indicating that the removal of the old driveway had not been completed as a stated condition of engineering approval; he also presented an image of the 8 inch culvert installed under the driveway rather than a 15 inch culvert approved in the permit. On the basis of that behavior, Mr. Guliuzza posits the CUP will not be followed.

See attached Exhibits A & B

Since the December 7th Planning & Zoning Meeting, Public Works has confirmed that the 201 Rio Vista property owners have permission to not yet have the driveway work/grading completed due to the freezing of the ground. Extensions on Public Works permits are routine occurrences for development in the area.

Jodi Guliuzza of 297 Rio Vista Blvd, McCall soon to be 210 Rio Vista Boulevard. Mrs. Guliuzza first described that the Use Chart for 1, 2, 3, 4, and 8. She referenced the McCall Comprehensive Plan to describe in which ways the application did not satisfy planning documents. Finally Ms. Guliuzza identified that the application does not serve the community in a positive way.

Matt Brewster of 200 Rio Vista Blvd, McCall spoke in opposition to the application first identifying the inadequacy of off street parking for the total number of guests proposed at high capacity and mentioning that Condition 9 regarding traffic impacts would not be met. He also spoke in opposition to the potential nuisance noise violations that may occur and doubt that the Police Department would have the time to respond to every noise violation.

Brian Stoll of 227 Rio Vista Blvd, McCall spoke against the application on the basis of the application not meeting the criteria for the CUP and not meeting the character as a neighborhood. He asked the Commissioners to focus on serving the community and relying on the code to Deny the proposal.

Daniel Brown of 192 Rio Vista Blvd, McCall spoke against the application particularly quoting Conditions 3 and 4 of the Conditional Use Permit Criteria, describing that the proposed Events Venue on the property do not meet those Criteria. He mentioned that the sound generated by the events on site would be detrimental to the health of his family by being a late-night nuisance. He mentioned the new driveway would be 108 feet from his child's window and that the dance floor would be approximately 300 feet from his child's window.

Bonnie Bertram of 225 Rio Vista Blvd, McCall spoke against the application based on her experience as a wedding planner and neighborhood resident recalling her previous work in events hosting being disruptive to neighbors. She asked the commissioners to recommend denial as the use is not compatible with the neighborhood.

Jon Sanchez of 101 Eagle Shores Ct, McCall nearby spoke against the application on the basis of sound being disruptive to the neighborhood at a wide radius, and therefore not satisfying the requirements of a CUP. He also mentioned concern over the traffic and likelihood of inebriated individuals creating a hazard in the neighborhood. He emphasized that the CUP exists to protect the neighborhood and that this use would not make the neighborhood a better place.

Brad Burrough of 491 Verita Rd, McCall spoke against the application based on the likelihood of noise. He mentioned he concurred with previous speakers and emphasized that a residential neighborhood is not compatible with an event venue. He mentioned that many concerns in the neighborhood focused on whether the Police Department would have the capacity to respond.

James Zackery at 284 Rio Vista Blvd, McCall spoke against the application for noise reason and in solidarity with previous speakers on the record. He mentioned that often times, the neighborhood can already hear bands playing at Whitetail from their neighborhood.

Pat Zack at 316 Rio Vista Blvd, McCall echoed the opposition to the application based on traffic concerns, drunkenness concerns, and the application not meeting the expectations of a CUP.

Ben Bruneau of 231 Ernesto Dr, McCall spoke against the application echoing the concerns of his neighbors and specifically the possible increase in traffic and drunk-driving in the neighborhood.

Bob Joyce of 232 Rio Vista Blvd, McCall spoke in opposition to the project because of the amount of noise that will travel a long way. He also mentioned opposition to the application

because of the risk of traffic hazards based on his time living in the area and observing the dangerous behavior of drivers on the Deinhard-Boydston Bypass.

Katy Stoll of 227 Rio Vista Blvd, McCall read a letter to the Commission speaking against the application:

See attached Comment Letter (Exhibit 3)

Lee Brown at 192 Rio Vista Blvd, McCall spoke against the application based on the same concerns as stated by neighbors previously.

Piers Lamb of 1078 Karen St, McCall spoke against the application on based on previous comments from the neighborhood and specifically the likely impacts of noise and traffic.

Austin Edwards of 1513 Louisa Ave, McCall spoke in favor of the application based on it being unique and needed in the community.

Mr. Parker asked the speaker to clarify that he is also the Stormwater Engineer on the project. He confirmed.

John and Laurie Stumpenger of 207 Ernesto spoke against the application based on concerns about drunk-driving and traffic hazards that may result.

(Begin Part 2 Youtube Video)

Steve Millemann of 706 N First St spoke representing the neighborhood of Rio Vista addressing the criteria of approval for a conditional use permit, and the process of Condition Use Permit eligibility in general. He stated that he believes this application shouldn't even qualify to apply for a CUP, but given the City's interpretation of MCC 3.3.02(A) and subsequent review of the Criteria of Approval, this application does not meet the criteria necessary to constitute a conditional use in the location or zone it is proposed in.

Chair Lyons closed the Public Hearing.

The applicants addressed the comments made by neighbors and said that to clarify, they had postponed completing the driveway with permission from the Public Works Department just to clarify the comments made to their character. They also mentioned that they believed the intentions and details of the application had been changed by the neighborhood narrative heard in the comments and that they are open to make adjustments to the commission's wishes when or where desired. They specifically mentioned the use of the site for an event would be exclusively reserved for people staying as guests at the Bed & Breakfast.

Planner Parker addressed some of the points made during the Public Hearing, summarizing the reason the application was before the commission based on the Residential Use Regulation section of City Code: 3.3.02(A) and Table 3.3.02 (USE TABLE) for Permitted and Conditionally Permitted Uses Within Residential Zones. Parking issues raised by community members would be related only to on site parking available as street-parking would not be allowed, the commission could discuss the parking requirement point if desired. In the event of the property changing hands, the commission could be detailed in

conditions stating that the CUP either expire or be hyperspecific to any owner in the future. Noise violation/volume level conditions could be added but are difficult to enforce.

Bill Punkoney mentioned that he was present to be of assistance, but to begin, that he fully supported staffs interpretation of 3.3.02(A) and the ability for the property owners to apply for a Conditional Use Permit for a use not stated in the Use Table.

Commissioner Rock mentioned this was not an easy set of decisions to make balancing the desire of a neighborhood to remain a neighborhood, while allowing a property owner to do what they wish to do within the law with their properties. Commissioner Tunnell mentioned that when difficult decisions have come up previously, the commission has elected to continue the hearing to request more information, but he believes the commission should focus on the 12 criteria for approval. Commissioner Moss mentioned that he would like to focus on the ability to take a CUP away and put consequences and conditions on any possible approval that would revoke the permit if/when violations occurred. Commissioner Nemec emphasized that the public overwhelmingly expressed opposition to the project in the neighborhood and that is a critical element of considering a Condition Use Permit application. Commissioner Kinzer mentioned specific concern about the traffic, activities, parking challenges, limitations posed by the application/proposal, and difficulty in terminating the Permit in the event of violations; he mentioned that while he believed the community could benefit from this use in general, it would not be of benefit in this proposed location. Mr. Parker mentioned that the revocation of a CUP would follow a traditional Code Violation and Public Hearing process.

Chairman Lyons began reading through the CUP Criteria of Approval and clarified that while this location is in between Residential and Industrial Zoning, the neighborhood of the project is the Rio Vista Neighborhood in larger part than the Industrial Loop. Commissioner Tunnell expressed that Condition 3 and Condition 12 to him are not to be met by the application. Commissioner Lyons mentioned he did not think Condition 11 was met.

Bill Punkoney advised the commissioners to identify which conditions were not met by the CUP application in their opinions, and direct staff to draft findings and conclusions consistent with their deliberations and determinations that could then be discussed at a future Commission meeting to make an appropriate recommendation to City Council.

Commissioners deliberated whether the item should be tabled for further analysis or other action. *Bill Punkoney advised that at a minimum, it would be best to direct staff to write Findings and Conclusions that match the commission's trend and reasoning towards denial in as specific terms as possible.*

Commissioners took turns identifying which Criteria of Approval were not met that they would like to see addressed and analyzed by staff:

- Commissioner Tunnell – 3, 8, 12
- Commissioner Moss – add 7
- Commissioner Rock – add 11, maybe 4
- Commissioner Nemec – 3, 8, 12
- Commissioner Kinzer – 3, 8, 7, 12
- Chairman Lyons – agreed with all

Mr. Parker clarified whether the concern on Criteria No. 7 was the design of the street itself. Commissioners mentioned the street design itself was not at issue, and No. 7 was eliminated.

Bill Punkoney assisted the commission with verbalizing their motions and next steps: “to make a motion to table CUP-21-04 until the Planning and Zoning Commission meeting on January 4th, 2022 and direct staff to prepare Findings and Conclusions consistent with the criteria identified and commission deliberation on the matter.” Indicating “So moved” would be an adequate motion, Commissioner Rock ‘so moved’ on Mr. Punkoney’s summarized motion; Commissioner Moss seconded the motion.

A Roll Call Vote was held:

*Commissioner Nemec - Aye
Commissioner Rock – Aye
Commissioner Moss – Aye
Commissioner Tunnell – Aye
Chairman Lyons – Aye
Commissioner Kinzer - Aye*

(Moved from earlier in Agenda) DR-21-11 – 1040 Chris Lane

Bill Punkoney advised that the Commission open the public hearing and then continue the item date specific.

Chairman Lyons opened the Public Hearing.

Commissioner Tunnell made a motion to continue the application to the January 4th, 2022 Planning & Zoning Commission meeting. Commissioner Rock seconded. All commissioners voted aye and the motion carried.

6. OTHER

- Signs approved administratively
 - i. Toby’s Place – 506 Pine St
- Review 2022 Planning & Zoning Meeting Calendar

Commissioner Moss made a motion to move the July meeting from 5th to July 12th to better accommodate the July 4th Holiday Weekend, Commissioner Tunnell seconded the motion. All commissioners voted aye and the motion carried.

7. ADJOURNMENT

Commissioner Tunnell made a motion to adjourn, Commissioner Moss seconded the motion, all commissioners voted aye and the meeting ended at 9:16pm.

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Brian Parker
City Planner

**PUBLIC COMMENT
SIGN IN SHEET
McCall Planning & Zoning Commission
December 7, 2021**

✓ Steve Millam

706 N 15th

NAME	ADDRESS	In favor, Opposed, or Neutral
✓ Jon Sanchez	101 Eagle Shores Ct	CUP 2104 <u>No</u>
✓ Dominick Gullizza	297 Rio Vista	CUP 21-04 opposed
✓ Jodi Gullizza	297 Rio Vista	CUP 21-04 opposed
✓ Matt Brewster	200 Rio Vista	CUP 21-04 opposed
APP Susan Evans	201 Rio Vista	CUP 21-04 Favor
APP Stephen Edwards	201 Rio Vista	CUP 21-04 Favor
✓ Dave Peegle	303 Colorado	
✓ CHARLIE CARP	1135 majestic view	
✓ Janet Jarvis	Ketchum, Idaho	Jordan Design Review
✓ Bessie STALL	McCall	NO CLAR <u>9 CUP 2104</u> <u>oppose!</u>
✓ Daniel Brown	192 Rio Vista McCall	CUP 2104 opposed
✓ Bonnie Bertram	255 Rio Vista	Cup 2104 opposed
APP Tom Koltes	MANPA	TBD Roosevelt Pre-App

Likely for CUP-21-04 on phone

By PHONE #s (call them out to stay organized)

✓ 208-283-2604	Brad	Yal-Verla
✓ 208-315-1276	James	Thackeray 284 Rio V
✓ 208-315-7898	PAT	ZAK 316 Rio Vista
○ 208-602-8319		
○ 208-980-7863		
○ 208-949-87465		
✓ 208 603-660-1728	Ben	Bruno 231 Erresh
✓ 805-705-5803	Bob	Joyce 232 Rio V.
✓ 949-395-2063	Madie	bBron Stall 227 Rio V.
✓ 972-997-2377	Lee	Brown 192 Rio V.
✓ 208 830 1448	Peter	Lamm 1078 Koren
✓ 208 871 - 7098	Austin	Edwards 1513 Condit

Luxelocker - McCall

410 S 3RD ST AND 407 W COLCHESTER DR

Pre-Application for a PUD, CUP, &
SUB 410 S 3rd Street

December 7, 2021



**HATCH DESIGN
ARCHITECTURE**



AERIAL MAP OF PROPERTY DEPICTING PROPOSED SITE IN YELLOW



CLOSE UP AERIAL MAP OF PROPERTY DEPICTING PROPOSED SITE IN YELLOW

Luxelocker - McCall

410 S 3RD ST AND 407 W COLCHESTER DR

Vicinity Map

Pre-Application for a PUD, CUP, &
SUB 410 S 3rd Street
December 7, 2021



**HATCH DESIGN
ARCHITECTURE**

review this wall and landscaping to reduce visible blank walls

context renderings or photos with landscaping incorporated with buildings and additional context

improvements to existing drainage ditch

primary entry? gate distance from roadway

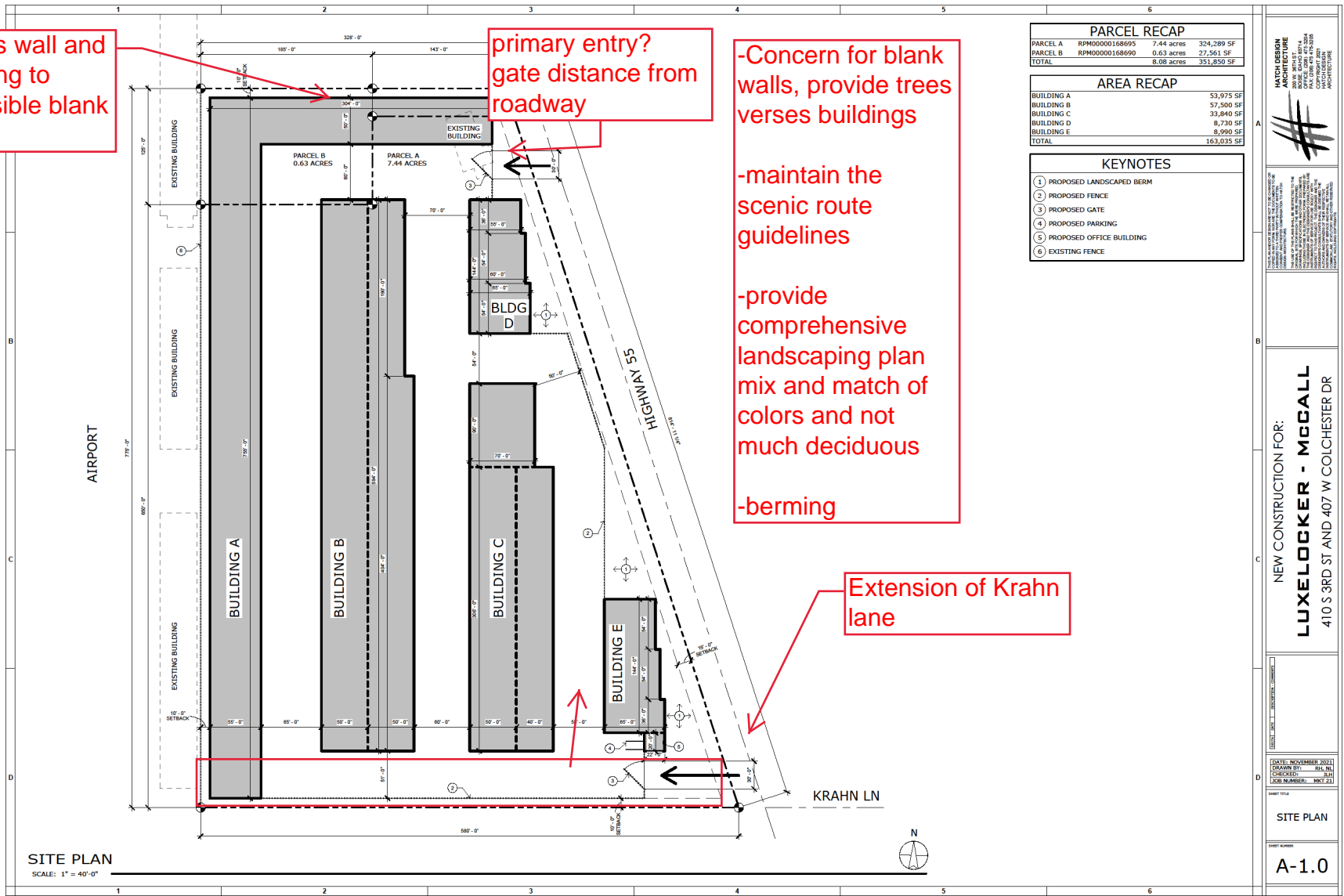
-Concern for blank walls, provide trees verses buildings

-maintain the scenic route guidelines

-provide comprehensive landscaping plan mix and match of colors and not much deciduous

-berming

Extension of Krahn lane



NEW CONSTRUCTION FOR:
LUXELOCKER - MCGALL
410 S.3RD ST AND 407 W COLCHESTER DR

DATE: NOVEMBER 2021
DRAWN BY: BJA, NL
CHECKED BY: BJA, NL
JOB NUMBER: MKT 21

SHEET TITLE
SITE PLAN

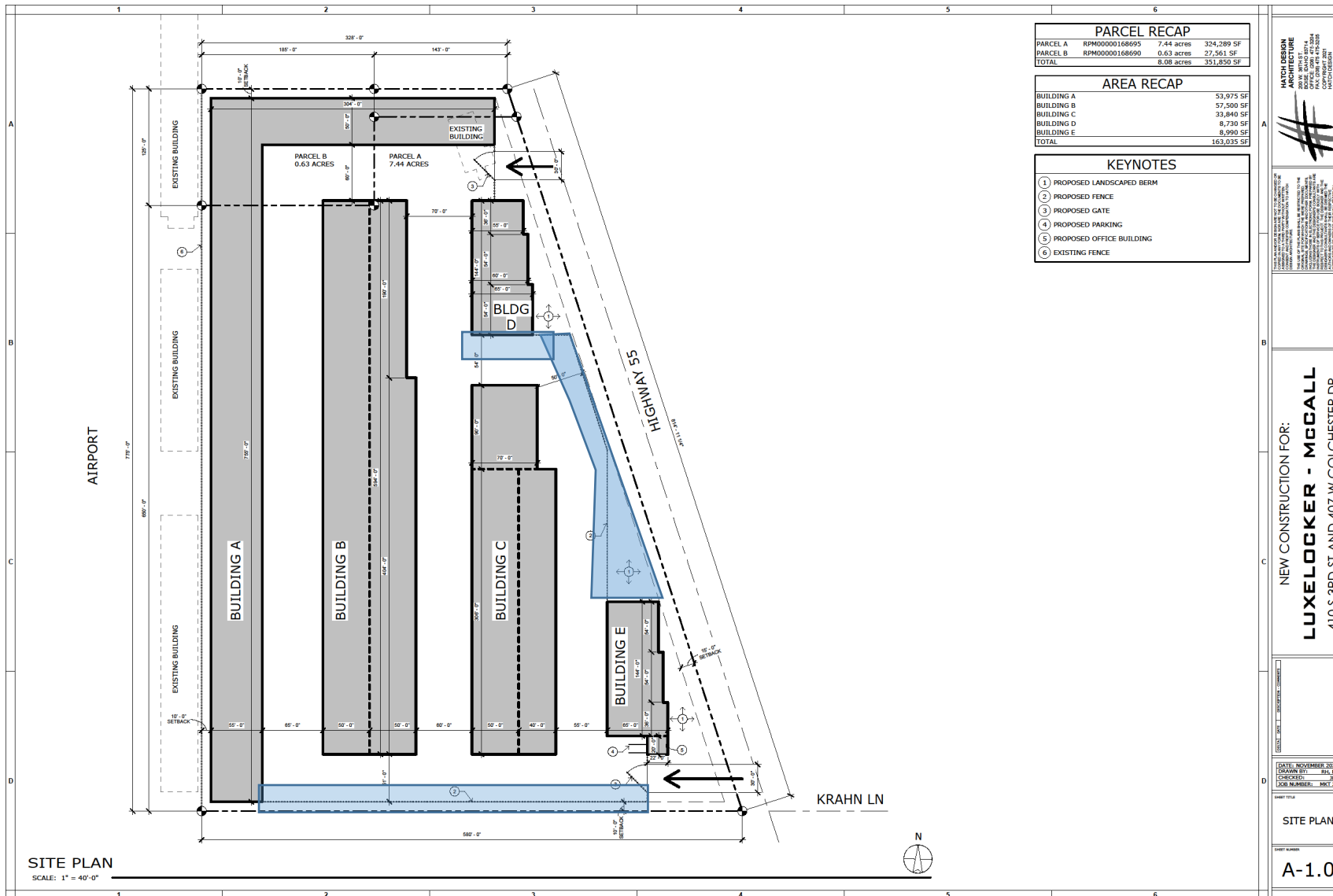
SHEET NUMBER
A-1.0

Site Plan

Pre-Application for a PUD, CUP, &
SUB 410 S 3rd Street
December 7, 2021

Luxelocker - McCall
410 S 3RD ST AND 407 W COLCHESTER DR





HATCH DESIGN ARCHITECTURE
 1000 S 10TH ST
 SUITE 2010
 DENVER, CO 80202
 TEL: 303.733.8800
 FAX: 303.733.8801
 HATCHDESIGNARCHITECTURE.COM

NEW CONSTRUCTION FOR:
LUXELOCKER - MCGALL
 410 S 3RD ST AND 407 W COLCHESTER DR

DATE: NOVEMBER 2021
 DRAWN BY: BJA, NL
 CHECKED BY: BJA, NL
 JOB NUMBER: MKT 21

SHEET TITLE
SITE PLAN
 SHEET NUMBER
A-1.0

Luxelocker - McCall

410 S 3RD ST AND 407 W COLCHESTER DR

Snow Storage Plan

Pre-Application for a PUD, CUP, &
 SUB 410 S 3rd Street
 December 7, 2021





Luxelocker - McCall

410 S 3RD ST AND 407 W COLCHESTER DR

Concept Rendering

Pre-Application for a PUD, CUP, &
SUB 410 S 3rd Street

December 7, 2021



**HATCH DESIGN
ARCHITECTURE**

Thank you for your time.

Questions?

Design Review Hearing

Pre-Application for a PUD, CUP, &
SUB 410 S 3rd Street

December 7, 2021

Luxelocker - McCall

410 S 3RD ST AND 407 W COLCHESTER DR



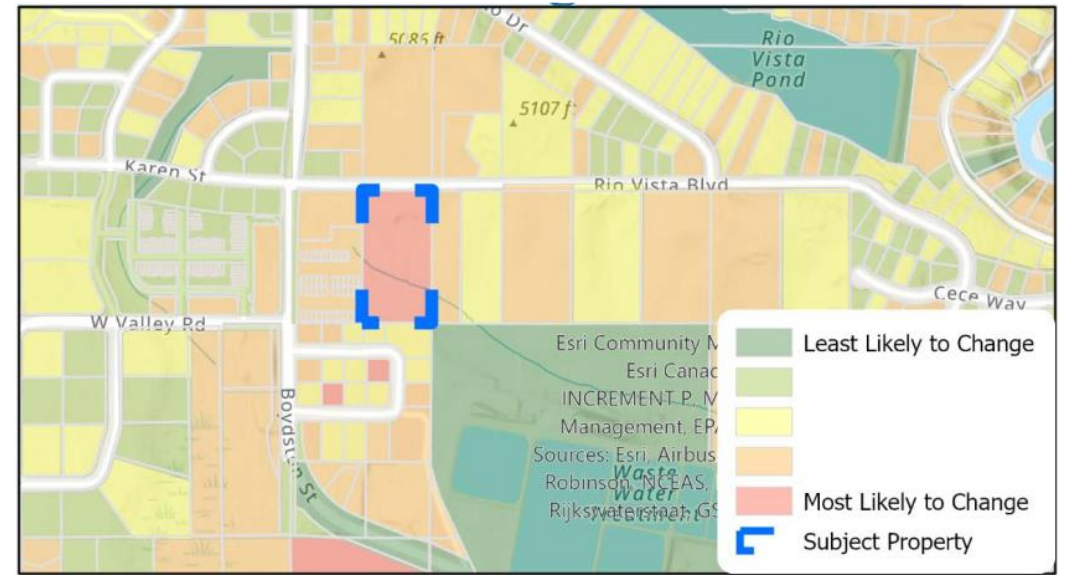
**HATCH DESIGN
ARCHITECTURE**

Cloud 9

CUP Presentation

Background

- 201 Rio Vista Blvd
 - Northwest Passage Bed & Breakfast at this location since the 1970's
 - Building was built on the lake in the late 1920's and hosted Cast for the movie in 1938
 - History of Hospitality for BOTH Tourists & Locals
 - Building was refurbished in 2019/20 - preserves the character and Legacy.
 - Purchased in November 2020 and is currently a licensed short-term rental on season / Bed & Breakfast off season
 - Property has been and is in the process of being cleaned up – removal of building debris, noxious weeds, dead timber, etc.
 - Located next to storage facility (West), Industrial & Sewage Treatment (South), R4 with new construction (North), Vacant Lot & Neighborhood (East)
 - Easy access to the Deinhard/Boydston connector



The Request

- Offer guests the option to get married, have a family reunion, or similar outdoor event in the backyard ~ 5 acres
 - Fills the need for a moderate priced /moderate size group offering available for both local families and visitors in a private setting
 - Sits between Shore Lodge or other Hotel offerings and park shelters
 - Provides revenue opportunities for local business from catering to property management
 - Property will be beautifully landscaped with an emphasis on indigenous trees, shrubs, grasses, and flowers; lighting will be dark sky compatible
 - Mostly small to moderate sized events with a maximum capacity of 110 individuals
 - Quiet hours observed from 10pm – 8am
 - No indoor assembly (adequate temporary restroom facilities provided)
 - Maximum occupancy for B&B and Short-term rental is 19
 - Parking for up to 30 cars, 12 short-term & 4 long-term for bicycles, Use of public & private transportation services with bus stop and walking path (No parking on Rio Vista)

How We Plan To Operate

- Primarily a short-term rental – events will be held periodically
- Family & Friends responsible type events (Weddings, Reunions on season; Neighborhood BBQ, Chamber gatherings off season)
- Manager and basic equipment provided onsite
 - Direct exciting traffic to the connector, minimize noise, etc.
 - Observance of Quiet Hours
 - Direct real time contact for neighbors

Our Goal

- Revitalize an historic facility that has a Legacy of generous Hospitality for both Tourists and Local inhabitants.
- Preserves and Enhances the Character of our wonderful small Resort Town.
- Provides employment opportunities for many local people
- Enhance our neighborhood community
- Finally, if this property is sold at some point in the future, we want to have a FANTASTIC reputation that the new owners would not want to even think about compromising.



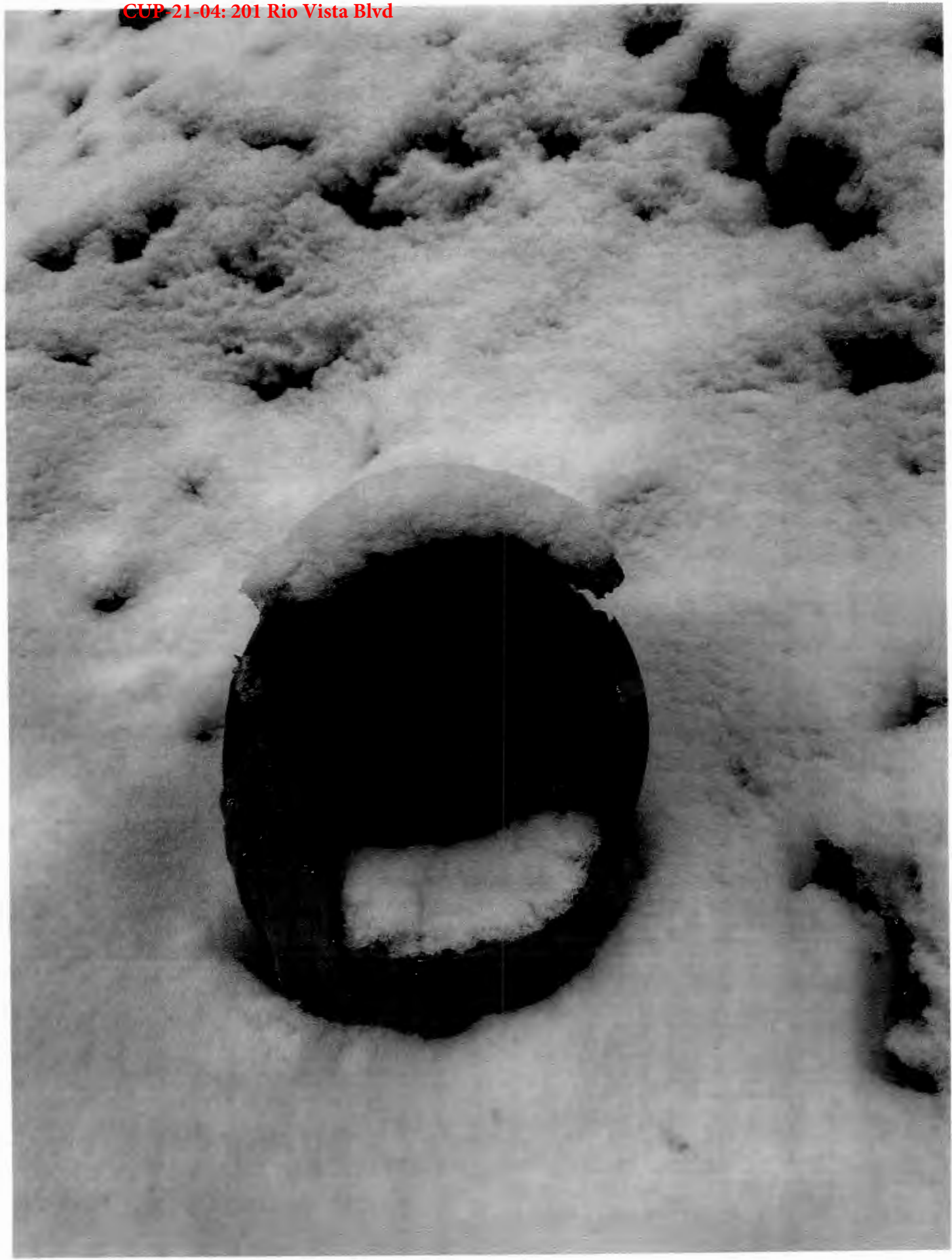


Exhibit C

K. Stoll Public Comment Transcript

CUP-21-04: 201 Rio Vista Blvd

12/3/21

P&Z Board Members
City of McCall

This letter is in reference to CUP-21-04 201 Rio Vista Blvd, The Cloud Nine Event Venue application for review on December 7, 2021. Members of our family have attended the neighborhood meeting and read all available relevant documents in preparing our response. However, we would first like to share this anecdote: the first thing our 17-year-old son said after being told about the letter sent to one neighbor announcing the day and time of the neighborhood meeting was “Great. Like we need all of those drunks driving through our neighborhood.”

The proposed use for this project is inconsistent with the character of the neighborhood. The applicants assert their project “is a great segue from industrial and multifamily use to R4 single family homes across the street to the north and for R1 homes further to the northeast” (Conditional Use Permit Application Evergreen Gems Property Management Project Description 10/25/2021). The industrial loop is not part of the neighborhood either in fact or in character. None of those businesses operate at night nor do they bring any traffic into the Rio Vista neighborhood; the loop is accessed from three different drives off of Deinhard. While the storage facility is accessed from Rio Vista, there are never more than a few vehicles accessing that property at a time or even in a given day. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objective 1 is NOT met.

The Rio Vista neighborhood is actually a long-standing residential neighborhood with a majority of full-time owner-occupied homes. In fact, of the 19 homes on the first block of our section of Rio Vista (from Boydston to Ernesto), 12 are occupied or being built for full-time owner occupancy. Only two, including the Cloud Nine home, are short-term rentals. There are nine children from preschool age to 17 years old living in existing or under-construction homes on this block. Nine children who play outside, ride bikes down the street and drive themselves around and who bring friends to the neighborhood to do the same. Children who need a safe, quiet neighborhood 24 hours a day, not just after 10pm. The single-family homes that are being built right across the street from this proposed project are just that – homes for more families like the ones that already live on Rio Vista. They are not businesses that will bring traffic, noise and light pollution to a low-density residential neighborhood. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objectives 2, 3, 8 and 12 are NOT met.

The proposal to direct amplified music any from the neighborhood, toward the industrial loop (as well as Broken Ridge Townhomes and the homes on Valley View Lane beyond) will not protect the surrounding neighborhood from chronic noise pollution and loss of quiet enjoyment of our properties. Google maps states the Whitetail Clubhouse is about 1 mile from our home. We can hear their annual shindig with whatever 80s band they’ve dug out of mothballs clear as a bell. Neighbors throughout Rio Vista report the same. Cloud Nine is .2 miles from our home. No amount of mitigation will keep amplified music on the confines of their property. Also, the glare from downward directed light in the back of the property will be clearly visible from existing residences at 213, 221 and 227 Rio Vista. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objective 8 is NOT met.

The project proposal tries to address the traffic issue with unrealistic solutions. At the neighborhood meeting, owner Jim Evans acknowledged they anticipate most guests will drive their own cars. People

do not ride bikes to weddings. People do not take public buses to weddings nor can our public buses accommodate even 50 wedding guests. Harlow's cannot be relied upon to have adequate staffing to provide shuttle service for all Cloud Nine events (the last time one of us was shuttled by Harlow's, the driver had been brought in from Northern Idaho and put up in a hotel to service a 1,000-person mountain bike race, not a 100-person wedding). People will drive their own cars because people want to come and go as they please. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objective 11 is NOT met.

They have also under-estimated the number of cars that can be at the property during an event. Over this past Thanksgiving weekend, 8 cars were observed parked in front of Cloud Nine, in spots and in the secondary driveway. If the home was at maximum capacity of 19 people, that is 2.4 people per car. (Cloud Nine's estimate is 2.6 people per car.) That would equate to 46 cars driving through the Rio Vista neighborhood at approximately the same time and then requiring parking for a maximum capacity event (110 people). Additional parking would be required for on-site service staff – caterer and servers, band or DJ, wedding or event planner. Some of these folks can be asked to carpool, but several spots will be needed for staff for every event since the indoor space cannot be used for staging or storage. Let's call it 50 total cars. This will create a traffic impact turning from/onto Boydston, dangerous conditions in our neighborhood both in event of a needed evacuation for fire and to neighbors who walk dogs, ride bikes, or run regularly on Rio Vista, an extreme burden of noise (engines), air (exhaust) and light (headlights) pollution to the immediate neighbors of the proposed event center. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objectives 4 and 9 are NOT met.

The impact of 50 additional vehicles turning into and out of the Rio Vista neighborhood may in fact have an impact on the desired trade with the State of Deinhard Ln/Boydston St for 55/N 3rd/E Lake Streets. The City will already incur great expense straightening the S curve near the airport to make this trade; more expense may ensue if the State objects to increased traffic at this intersection. CUP Criteria of Approval (from McCall City Code Section 3.13.03.B) Objectives 6 and 7, unclear.

Finally, the application asserts that this project "will also contribute to the economic welfare of the community through the hiring of private services" (Conditional Use Permit Application Evergreen Gems Property Management Project Description 10/25/2021). While catering, party rental, shuttle service and port-a-potty services do in fact exist in McCall, most of us know at least one of these business owners and know they have all said that they chronically struggle to meet staffing and equipment needs for the events they currently serve. The fact is, these businesses are likely to service events based in McCall no matter where in Valley County they are held. There is no competition. What is just as likely is that Cloud Nine events will be catered to and supported by outside businesses because our local businesses are already booked. Cloud Nine itself will bring little economic benefit to the local economy; the primary beneficiary of this business would be its Eagle-based owners.

Numerous people have applied for Conditional Use Permits to open event-hosting venues throughout Valley County in the past few years, all of which have been located more remotely and would be less impactful to nearby residents. All have been denied for reasons related to lack of safety and to incompatibility with the established surrounding community as defined by government planning and by existing neighborhood character, similar to this proposed project. While some may argue the McCall area needs more venues to accommodate events, this location is completely inappropriate. As the Cloud Nine CUP application fails to successfully meet the majority of objectives in the CUP Criteria of

Approval established by the City of McCall, the Stoll family strongly urges the P&Z Committee to NOT recommend this application for approval.

Sincerely and with Thanks,

Brian, Katy, Tristen and Sascha Stoll
227 Rio Vista Blvd, McCall

**McCall Area Planning and Zoning Commission
Staff Report**

Application Number
TBD Paul Bunyan Rd.
Mooney Lot Line Adjustment

January 4, 2022

Applicant: Richard and Michelle Mooney and Summit Resources LTD
Agent: Steve Millemann
Application: Lot Line Adjustment
Zoning: R1 – Residential 1 Acre

Description

Steven Millemann for Richard and Michelle Mooney and Summit Resources LTD: A Record of Survey application to adjust the lot line between two parcels and transfer 0.08 acres from Parcel A to Parcel B resulting in 2 parcels of 1.08 acres and 0.92 acres (40,006 sq. ft.) respectively.

Code Narrative

This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements, pursuant to McCall City Code section 9.1.05.B.2.

Pursuant to McCall City Code (MCC 9.1.05), lot line adjustments are permitted through the Record of Survey process.

Comments

Agency –

Public – No comments have been received.

Conditions of Approval

1. Prior to recordation, the applicant shall submit and receive approval for digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the applicant shall revise the survey per the County Surveyors comments (see agency comments above).
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor’s office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

IN RE:)
)
MOONEY LOT LINE) **McCALL AREA PLANNING AND ZONING COMMISSION**
ADJUSTMENT) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
Record of Survey) **DECISION**
)
)
Application Number:)
ROS-21-19)

FINDINGS OF FACTS

Applicant: Richard and Michelle Mooney and Summit Resources LTD

Representative(s): Steve Millemann

Application: Steven Millemann for Richard and Michelle Mooney and Summit Resources LTD: A Record of Survey application to adjust the lot line between two parcels and transfer 0.08 acres from Parcel A to Parcel B resulting in 2 parcels of 1.08 acres and 0.92 acres (40,006 sq. ft.) respectively.

Location: Tax Parcel numbers 50 & 69 of McCall Acreage situate in the SE ¼ of the SQ ¼ of Section 6, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Property Address: TBD Paul Bunyan Rd., McCall, ID

Public Notices: This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05.B.2, which states that the administrator may waive the application of some provisions.

Zoning: R1 – Residential 1 Acre

Property Size: A Record of Survey application to adjust the lot line between two parcels and transfer 0.08 acres from Parcel A to Parcel B resulting in 2 parcels of 1.08 acres and 0.92 acres (40,006 sq. ft.) respectively.

Setbacks: There is an existing residence on the Mooney parcel and a shed on the Summit Resources parcel. Current code does not allow a shed on a residential parcel without a residence on the same parcel. The lot line adjustment would move the shed from the Summit Resources parcel to the Mooney parcel, correcting the nonconformity. The lot line adjustment would not affect the setbacks to the existing residence.

APPROVAL STANDARDS

Title 9, Chapter 1

Record of Survey

To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:

1. A lot line adjustment between two (2) or more existing adjacent parcels, provided:
 - (1) No additional parcels or building sites have been created, and
 - (2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and
 - (3) There are no resulting violations of this title or title III of this code. No additional parcels or building sites have been created, the adjustment does not create the potential to further divide either of the two parcels, and there are no resulting violations of McCall City Code Titles 3 or 9.

DEPARTMENT/AGENCY COMMENTS

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.

2. The proposed project is eligible for the Record of Survey process as a lot line adjustment.
3. The proposed project meets the dimensional standards for lots in the R4, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. Prior to recordation, the applicant shall submit and receive approval for digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the applicant shall revise the survey per the County Surveyors comments (see agency comments above).
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 4th day of JANUARY 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received:
12/13/21 BP

Fees Paid:

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Administrative Approval (AA) - \$50
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Richard and Michelle Mooney Email: _____

Mailing Address: _____ Phone: _____

Property Owner 2 (If Applicable): Summit Resources LTD Email: _____

Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Steve Millemann Email: sjm@mpmplaw.com

Mailing Address: PO Box 1066, McCall, ID 83638 Phone: 208-634-7641

PROPERTY INFORMATION

Address(es) of Property: 1492 Paul Bunyan Road

Legal Description of Property: See attached Boundary Line Agreement

Zoning District of Property: R1 Project Sq. Footage (If Applicable): NA

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

Record of Survey to adjust common boundary line between Property Owner 1 and Property Owner 2 properties.

Fully executed and recorded Boundary Line Agreement is attached.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

Rick Mouny
Property Owner 1

see attached Boundary Line Agreement
Property Owner 2 (If Applicable)

STEVE MILLOMARINI
Agent/Authorized Representative

[Redacted Signature]

[Redacted Signature]

[Redacted Signature]

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Ralph Miller Secesh Eng
Surveyor

[Redacted Signature]
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

AMENDED BOUNDARY LINE AGREEMENT

THIS AGREEMENT is entered into this 1st day of July, 2020, by and between **Summit Resources LTD**, a California limited partnership, whose address is 2550 Fifth Avenue, 9th Floor, San Diego, CA, 92103 (hereinafter "**Summit**") and **Richard Thomas Mooney, III** and **Michelle R. Mooney**, husband and wife, whose address is 1492 Paul Bunyan Road, McCall, ID 83638, (hereinafter "**Mooney**").

RECITALS

Summit is the owner of certain real property located in Valley County, Idaho, more particularly described at the attached **Exhibit "A" (the "Summit Property")**.

Mooney is the owner of certain real property located in Valley County, Idaho, more particularly described at the attached **Exhibit "B" (the "Mooney Property")**.

It has been discovered by the Parties that certain improvements associated with the Mooney Property are, in fact located on the Summit Property. The parties have agreed to resolve the said encroachments by means of an agreement establishing a new common boundary line between their properties. The parties desire to memorialize and confirm the terms of their aforesaid agreement.

The parties entered into a Boundary Line Agreement which was filed of record with the Office of Recorder on July 1, 2019 as Instrument No. 421670 (the "**Prior Agreement**"). The parties desire to amend that Agreement. Upon recordation of this Agreement, the Prior Agreement shall be rendered null and void and of no further legal effect.

AGREEMENT

WHEREFORE, in consideration for the covenants, conditions and promises recited herein, the parties agree and covenant as follows:

1. The new common boundary between the Mooney and Summit Properties shall be the line depicted as the "**New Boundary**" on the Record of Survey which is attached as **Exhibit "C" (the "Record of Survey")**.
2. In order to create the New Boundary, Summit does hereby convey, release, and forever quitclaim unto Mooney all of Summit's right, title and interest in and to the Parcel which is depicted as "Parcel A" on the attached Record of Survey and which is legally described in the attached **Exhibit "D"**.
3. Summit further grants to Mooney to run with, benefit and burden the Mooney and Summit Properties a non-exclusive easement for ingress and egress to and from the Mooney Property and for utilities, which easement is depicted as "**Access and Utility Easement**" on the attached Record of Survey and which easement is legally described in the attached **Exhibit "E"**. Summit reserves all rights of ownership and use of the Access Easement property which do not unreasonably impair Mooney's use of the Access and Utility Easement.

4. Mooney waives, relinquishes and releases any claim to the "Adjusted Summit Property", as depicted on the attached Record of Survey, save and except only for the rights granted to Mooney in the aforesaid Easement.

5. The parties authorize Steven J. Millemann and Ralph Miller to obtain the necessary approvals for the attached Record of Survey and to record the Record of Survey with the Office of Recorder of Valley County, Idaho. Upon recordation, the Record of Survey shall be substituted for the attached Exhibit C; and, this Agreement shall be recorded with the Valley County Office of Recorder.

6. The terms of this agreement shall constitute covenants running with and binding the respective properties of the parties and shall bind and inure to the benefit of the heirs, assigns, and successors-in-interest of the parties.

WHEREFORE, the parties who set their hands to this agreement, effective the date first herein and above indicated.

SUMMIT RESOURCES LTD

By


DOUGLAS F. MANCHESTER, President
Summit Resources, Inc., General Partner


RICHARD THOMAS MOONEY, III


MICHELLE R. MOONEY

ACKNOWLEDGEMENTS FOLLOW

STATE OF IDAHO)
) ss
COUNTY OF VALLEY)

On July 1, 2020, before me, Steven J. Millemann, a Notary Public, personally appeared **Douglas F. Manchester**, known or identified to me to be the President of the corporation that executed the instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.

[Signature]
NOTARY PUBLIC FOR IDAHO
My Commission Expires: 5/31/2026



(Seal)

STATE OF IDAHO)
) ss.
COUNTY OF Valley)

On this 6th day of July, 2019, before me, Heather Potts, a Notary Public in and for said State, personally appeared **Richard Thomas Mooney, III** known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.

[Signature]
NOTARY PUBLIC FOR IDAHO
My Commission Expires: 4/23/2021



STATE OF IDAHO)
) ss.
COUNTY OF Valley)

On this 6th day of July, 2019, before me, Heather Potts, a Notary Public in and for said State, personally appeared **Michelle R. Mooney**, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.



Heather Potts
NOTARY PUBLIC FOR IDAHO
My Commission Expires: 4/23/2021

EXHIBIT A TO BOUNDARY AGREEMENT

A parcel of land located in McCall, Valley County, Idaho, and more particularly described as follows:

A parcel of land situated in the Southeast Quarter of the Southeast Quarter of the Southwest Quarter of Section 6, Township 18 North, Range 3 East of the Boise Meridian, Valley County, Idaho, described as follows:
Commencing at an aluminum cap marking the 1/4 Corner common to said Sections 6 and 7, Township 18 North, Range 3 East, being the TRUE POINT OF BEGINNING;
Thence North 89° 22' 30" West a distance of 663.51 feet along the line common to said Sections 6 and 7 to a 5/8 inch rebar marking the Southeast corner of Lot 9, Forest Trails Subdivision, as shown on the official plat thereof on file in the office of the Recorder of Valley County, Idaho, in Book 8 on Page 62 of Plats;
Thence North 00° 39' 08" West a distance of 55.00 feet along the boundary of said Lot 9 to a 5/8 inch rebar;
Thence South 89° 22' 30" East a distance of 208.71 feet along the boundary of said Lot 9 to a 5/8 inch rebar;
Thence North 00° 39' 08" West a distance of 104.38 feet along the boundary of said Lot 9 to a 1/2 inch rebar;
Thence South 89° 22' 30" East a distance of 195.43 feet to a 1/2 inch rebar;
Thence North 57° 45' 04" East a distance of 145.03 feet to a 1/2 inch rebar on the Southwesterly right-of-way line of State Highway 55;
Thence South 36° 53' 00" East a distance of 229.79 feet along said right-of-way to a 1/2 inch rebar on the East boundary of said Southeast Quarter of the Southeast Quarter of the Southwest Quarter;
Thence South 00° 36' 32" East a distance of 55.79 feet to the TRUE POINT OF BEGINNING.

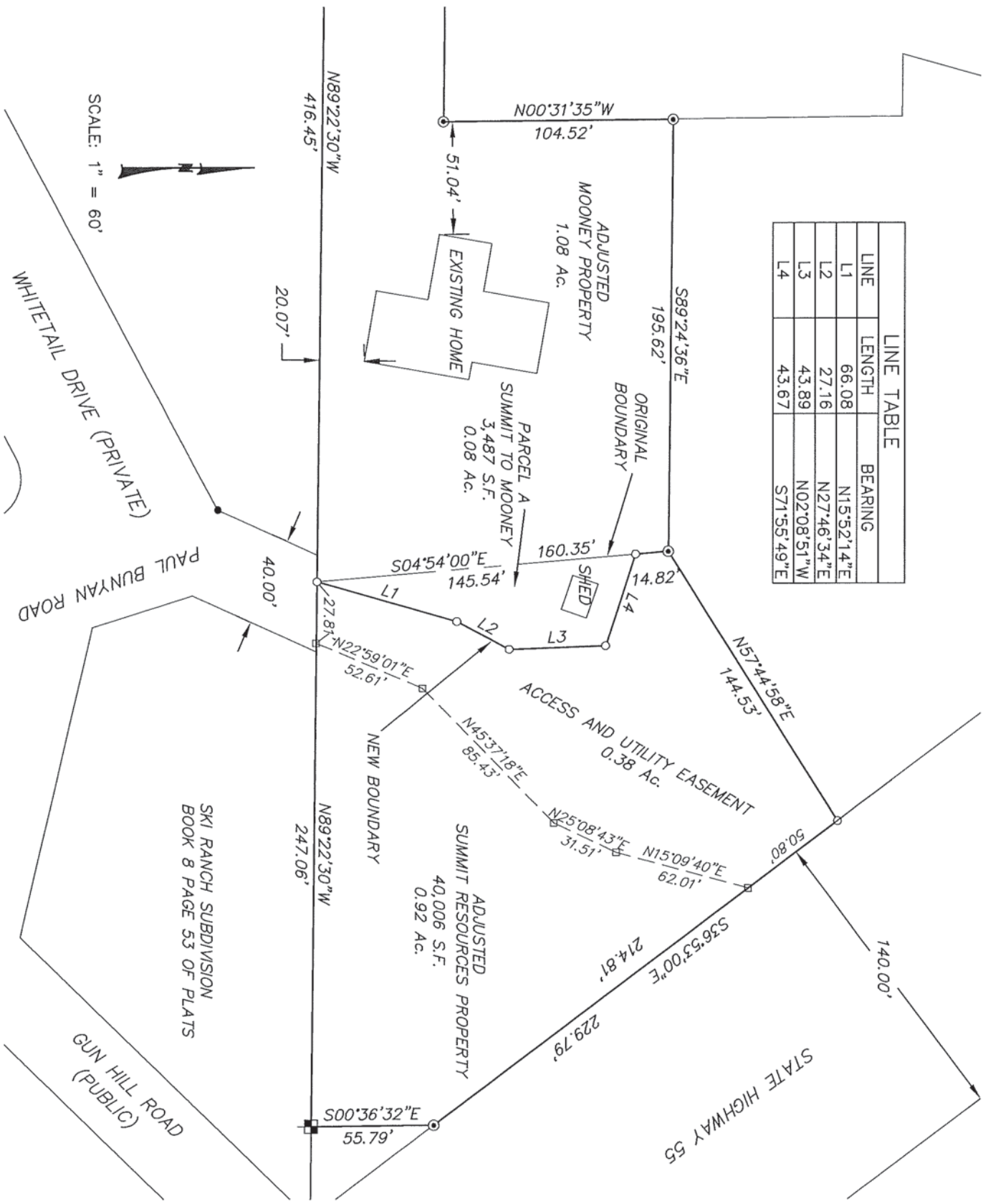
Save and except the following parcel:

A portion of the SE1/4 of the SE1/4 of the SW1/4 of Section 6, Township 18 North Range 3 East Boise Meridian, Valley County, Idaho described as follows:

Commencing at the S1/4 corner of Section 6, Township 18 North Range 3 East, Boise Meridian, Valley County, Idaho and running thence North 89°22'30" West 663.51 feet along the South line of said section to the SE corner of Lot 9 Forest Trails Subdivision as shown on the official plat recorded in the office of the Valley County Recorder in Book 8, Page 62 (said point being the Point of Beginning); Thence North 00°39'08" West 55.00 feet along the boundary of said Lot 9; Thence South 89°22'30" East 208.71 feet along said boundary; Thence North 00°39'08" West 104.38 feet along said boundary ; Thence South 89°22'30" East 195.43 feet; Thence South 04°54'00" East 160.08 feet to the South line of said section; Thence North 89°22'30" West 416.00 feet to the point of beginning.

EXHIBIT C

LINE TABLE		
LINE	LENGTH	BEARING
L1	66.08	N15°52'14"E
L2	27.16	N27°46'34"E
L3	43.89	N02°08'51"W
L4	43.67	S71°55'49"E



SECESH ENGINEERING, INC.
 335 DEINHARD LANE, SUITE 1
 McCALL, IDAHO 83638
 208-634-6336

LOT LINE ADJUSTMENT
 MOONEY AND SUMMIT RESOURCES

Drawing No.:
 Drawn by: REM
 Date: 10/30/19

EXHIBIT D

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

**LEGAL DESCRIPTION
PARCEL A**

A parcel of land, a portion of the southeast 1/4 of the southwest 1/4 of Section 6, T.18N., R.3 E., B.M., City of McCall, Valley County, Idaho, more particularly described as;

COMMENCING at the S 1/4 corner of said Section 6; thence along the south line of said Section 6,

- A.) N.89°22'30"W., 247.06 feet to the **POINT OF BEGINNING**; thence, departing said section line,
 - 1.) N.4°54'00"W., 145.54 feet; thence,
 - 2.) S.71°55'49"E., 43.67 feet; thence,
 - 3.) S.2°08'51"E., 43.89 feet; thence,
 - 4.) S.27°46'34"W., 27.16 feet; thence,
 - 5.) S.15°52'14"W., 66.08 feet to the **POINT OF BEGINNING**.

CONTAINING 0.08 Acres, more or less.

EXHIBIT E

SECESH ENGINEERING, INC.

335 Deinhard Lane, Suite 1
P.O. Box 70
McCall, ID 83638
208-634-6336 • FAX 208-634-6322

**LEGAL DESCRIPTION
ACCESS AND UTILITY EASEMENT**

A parcel of land, a portion of the southeast 1/4 of the southwest 1/4 of Section 6, T.18N., R.3 E., B.M., City of McCall, Valley County, Idaho, more particularly described as;

COMMENCING at the S 1/4 corner of said Section 6; thence along the south line of said Section 6,

- A.) N.89°22'30"W., 219.25 feet to the **POINT OF BEGINNING**; thence, continuing along said section line,
 - 1.) N.89°22'30"W., 27.81 feet; thence, departing said section line,
 - 2.) N.15°52'14"E., 66.08 feet; thence,
 - 3.) N.27°46'34"E., 27.16 feet; thence,
 - 4.) N.2°08'51"W., 43.89 feet; thence,
 - 5.) N.71°55'49"W., 43.67 feet; thence,
 - 6.) N.4°54'00"W., 14.82 feet; thence,
 - 7.) N.57°44'58"E., 144.53 feet to a point on the southwesterly Right-of-Way for State Highway 55; thence, along said Right-of-Way,
 - 8.) S.36°53'00"E., 50.80 feet; thence, departing said Right-of-Way,
 - 9.) S.15°09'40"W., 62.01 feet; thence,
 - 10.) S.25°08'43"W., 31.51 feet; thence,
 - 11.) S.45°37'18"W., 85.43 feet; thence,
 - 12.) S.22°59'01"W., 52.61 feet to the **POINT OF BEGINNING**.

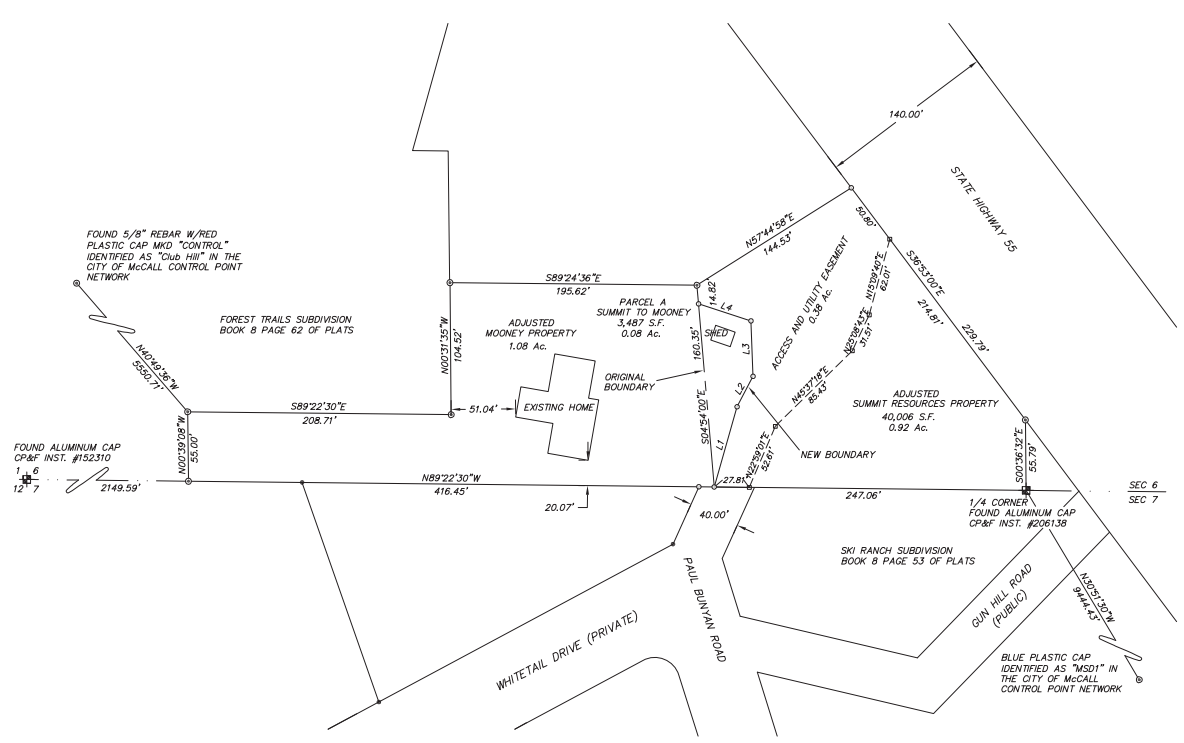
CONTAINING 0.38 Acres, more or less.

RECORD OF SURVEY

BOOK NO. _____ PAGE NO. _____
OF RECORDS OF SURVEY.

RECORDERS STAMP

FOR
MOONEY AND SUMMIT RESOURCES
LOCATED IN
THE SE 1/4 OF THE SW 1/4 OF SECTION 6, T.18N., R.3E., B.M.,
CITY OF McCall, VALLEY COUNTY, IDAHO
2021



LEGEND

- ⊕ FOUND BRASS CAP MONUMENT
- ⊕ FOUND ALUMINUM CAP MONUMENT
- ⊙ FOUND 5/8" IRON PIN
- FOUND 1/2" IRON PIN
- SET 1/2" X 24" REBAR MKD LS 8577
- ⊙ SET 5/8" X 30" REBAR MKD LS 8577
- CALCULATED POSITION - NOTHING SET



SCALE: 1" = 60'
Bearings and distances measured are Based on
Whitetail Planned Unit Development Phase 1
Measurements were made on the ground.

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

This survey is being filed to adjust the boundary between the Monney and Summit Resources properties as shown.

Accepted and approved this _____ day of _____, 20____
by the City of McCall.

McCall City Clerk _____

LINE TABLE		
LINE	LENGTH	BEARING
L1	66.08	N15°52'14"E
L2	27.16	N27°46'34"E
L3	43.89	N02°08'51"W
L4	43.67	S71°55'49"E

I, Ralph Miller, a Professional Land Surveyor Registered in the State of Idaho, do hereby certify that this plat was prepared from notes taken during an actual survey made by me and that it correctly represents the points, courses and distances as recorded in said field notes.



SECESH ENGINEERING INC.
P.O. Box 70
McCall, ID 83638
(208) 634-8336

McCall Area Planning and Zoning Commission

Staff Report

DR-21-11

1040 Chris Lane

December 7, 2021

Applicant: Linzie Green
Representative: Matt Arnold
Application: Design Review
Zoning: R1 – One Dwelling Unit per Acre

Project Description:

A Design Review application to construct an attached three car garage with second story to an existing single-family. The garage would be located on the north east side of the residence in the location of an existing parking pad. The second story of the garage would be for a bonus room, including plumbing and bathroom, and unconditioned storage space. The only other site improvements that the existing driveway would be realigned to fit the new garage, stone wainscotting across the entire front elevation of the house and garage and new paint and trim color. The garage addition would match the brown wood log siding and grey trim of the existing house.

Existing residence	2,270 sf
Existing residence remodel	130 sf
Existing Patio/deck	360 sf
Bonus room	630 sf
Unconditioned attic space	485 sf
Garage	1490 sf
Total	5,365 sf

R-1 Zoning District Requirements:

Requirement	Code (MCC 3. 3.03)	Proposal
Minimum property size	1 acre	2.38 acres
Street Frontage	100'	270'
Front Property Line Setback.	25'	25+'
Rear Property Line Setback	20'	20+'
Side Property line setback	23'	42'
Total Side Property line setback	69'	84'
Lot Coverage	13%	5.9%
Building Height	35'	22'
Maximum residence size	10000 sf	5365 sf

Code Narrative

MCC 3.16.01: Design Review approval is required when a single-family residential structure is in excess of 3,500 sq. ft. and requires Planning and Zoning Commission for any over 5,000 sf.

MCC 3.3. 09 Design standards to allow development that is complementary to the natural environment, scenic mountain setting and historic small-town character.

MCC 3.8.064 Driveways: which provides standards for driveway width, grade, and setbacks.

MCC 3.8.10 Fences and Walls which establishes requirements for walls.

MCC 3.8.13 Landscaping: which requires landscape plans as part of a design review.

MCC 3.8.15 Snow storage: which requires that area be set aside on the site for snow storage.

MCC 3.8.23 Site Design: which requires that site development maintains the natural features of the site including significant vegetation, watercourses, wildlife corridors, and natural features.

MCC 3.14 Lighting: which established standards for exterior lighting to promote and maintain public safety and preservation of the night sky.

Comments

Agency –

No objections or response with no comments were received by e-mail from the McCall Fire and EMS (3/12/21), Idaho Department of Transportation (3/10/21), and Idaho Department of Lands (3/15/21).

McCall Public Works:

In a March 24, 2021 e-mail, the City of McCall Public Works department stated that they had reviewed the materials that were provided for this proposal and had the following comments and requirements:

1. It is not anticipated that the stormwater drainage will alter much or affect neighboring properties taking into account the size of this project in relation to the size of the parcel. A formal stormwater management application, plan, and report will not be needed with this project. Reevaluation of these requirements will need to occur if the size and location of the proposed project on the parcel change.
2. The City's Building Department will monitor and inspect the temporary on-site stormwater controls.

IN RE:)
)
GREEN GARAGE) **McCALL AREA PLANNING AND ZONING COMMISSION**
Design Review) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
Application Number:) **DECISION**
DR-21-11)

FINDINGS OF FACTS

Applicant: Linzie Green

Representative: Matt Arnold

Application: Design review of a new, two story attached garage to an existing residence.

Address: 1410 Chris Lane, McCall. Idaho

Location: Lot 95 of the Valley View Subdivision situate in the SW ¼ of Section 30, T1BN, R3E, B.M. Valley County, Idaho

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on November 18, 2021

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on November 16, 2021.

Posting: The Notice of Hearing was posted by the applicant on the subject property on November 17, 2021.

Zoning: R1 – One Dwelling Unit per Acre

Property Size: 21, 944 sq. ft.

Lot Coverage: 4,771 sq. ft. (91% of allowable)

Building Height: 32' 11^{3/4}"

Proposed Setbacks: Per McCall City Code 3.3.03, the minimum required setbacks for this parcel are 24 ft. from the front property line, 20 ft. from the rear property line and 23 ft. from either side property line. The setbacks as proposed are:

Front: 25 ft.+ **Rear:** 30ft.+ **Sides:** 23 ft.

APPROVAL STANDARDS

Design Review

The commission or administrator shall determine the following before approval is given:

- 1. The project is in general conformance with the comprehensive plan.**
- 2. The project does not jeopardize the health, safety or welfare of the public.**
- 3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall. Building height rule in relation to the side yards snow shed**
- 4. The project will have no substantial impact on adjacent properties or the community at large.**

Please see the review of the Design Requirements below.

MCC 3.3.09 DESIGN REQUIREMENTS

General Objectives for Residential Design

- 1. Support a residential character and is compatible with its surrounding neighborhood:**
The proposal is consistent in size, design and character with the residences in the surrounding neighborhood.
- 2. Preserves natural features:** The site has been used as a parking pad and is clear of any natural vegetation. The proposal intends to maintain the remaining undisturbed area of the site in natural vegetation.
- 3. Promotes active and safe streetscapes.** The garage will maintain the existing driveway intersection with the street and will be modified to fit the existing new garage.

Residential Review Standards

1. **Building Scale:** The proposal will add 1490 sf. to the existing residential structure for a total of with 5,365 sq. ft of living space and site coverage of 5.9% of the lot size. This is in scale with the lot and the surrounding neighborhood.

2. **Building Design**

- a. **Materials** The garage addition would match the brown wood log siding of the existing house. Stone wainscotting would be installed across the entire front elevation of the house and garage with new paint and trim color to the existing structure.
- b. **Roof:** The roof will be constructed of architectural roof shingles of a grey color.
- c. **Exterior Color** The proposed color palette is a mixture of brown and grey.
- d. **Blank Walls** There are no blank walls in the design.
- e. **Snow Loads** The structure is sufficiently setback to avoid the impacts of snow shedding on any adjoining property.

MCC 3.8 General Development Standards

MCC 3.8.03 Tree Removal: No trees will be removed.

MCC 3.8.062 Parking: which requires two parking spaces. A 1490 sq. ft. garage is included in the design which is sufficient for the parking of two vehicles.

MCC 3.8.064 Driveways: which provides standards for driveway width, grade, and setbacks.

MCC 3.8.13 Landscaping: which requires landscape plans as part of a design review. The site plan indicates that all existing landscaping and natural vegetation and trees will remain.

MCC 3.8.15 Snow storage: which requires that area be set aside on the site for snow storage. Two areas have been designated on the site plan for snow storage.

MCC 3.8.23 Site Design: which requires that site development maintains the natural features of the site including significant vegetation, watercourses, wildlife corridors, and watercourses.

- a. **Preserve natural resources:** The site plan includes 94% of the site without coverage of impervious surfaces.
- b. **Reduce land and water modifications:** The lot is relatively flat requiring no land modification.
- c. **Location to preserve prominent skylines:** N/A
- d. **Underground utilities:** All utilities will be undergrounded.

MCC 3.14 Lighting: which established standards for exterior lighting to promote and maintain public safety and preservation of the night sky. A condition of approval is for all exterior lighting fixtures to meet the code standards.

DEPARTMENT/AGENCY COMMENTS

McCall Public Works:

In a March 24, 2021 e-mail, the City of McCall Public Works department stated that they had reviewed the materials that were provided for this proposal and had the following comments and requirements:

1. It is not anticipated that the stormwater drainage will alter much or affect neighboring properties taking into account the size of this project in relation to the size of the parcel. A formal stormwater management application, plan, and report will not be needed with this project. Reevaluation of these requirements will need to occur if the size and location of the proposed project on the parcel change.
2. The City's Building Department will monitor and inspect the temporary on-site stormwater controls.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.

2. Adequate notice of the December 7, 2021 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application DR-21-11, provided that the following conditions are met:

1. Prior to issuance of a building permit, the applicant shall provide evidence that the design review plans were prepared by an Idaho Licensed architect or an architect licensed in another state which has an agreement with Idaho that recognizes the licensing.
2. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.
3. Prior to issuance of a building permit, the applicant shall submit light fixture details for review and approval in compliance with McCall's Outdoor Lighting Ordinance.
4. Prior to the issuance of a building permit, the applicant will provide the City with a written statement acknowledging that the second story area above the garage is not for occupancy as an accessory dwelling unit or short-term rental without first obtaining the required permits or licenses from the City of McCall.

Findings of Fact **adopted** this 7th day of December, 2021.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received: _____

Fees Paid: _____

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Administrative Approval (AA) - \$50
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Linnæ J. Green Email: _____

Mailing Address: 1040 CHRIS LN. McCall, ID. 83638

Property Owner 2 (If Applicable): Amber J. Green Email: greena@slhs.org

Mailing Address: 1040 CHRIS LN McCall, ID. 83638 Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Matt C Arnold Email: MatthewArnold@yahoo.com

Mailing Address: 4/6 Floyd St Phone: 307-6892813

PROPERTY INFORMATION

Address(es) of Property: 1040 CHRIS LN. McCall, ID. 83638

Legal Description of Property: 2.39 ACRES . Valley View Subdivision Number 3 Lot 95

Zoning District of Property: R1 Project Sq. Footage (If Applicable): _____

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

It is being proposed that an attached garage addition be constructed to the existing residence located at 1040 Chris Lane in McCall, ID. 3 car garage with loft area above.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

Linzie J. Green
Property Owner 1

Imber Green
Property Owner 2 (If Applicable)

Matt C. Arnold
Agent/Authorized Representative



FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

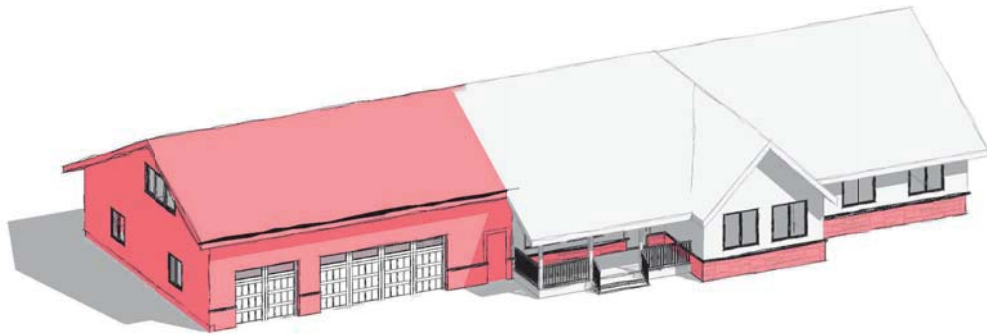
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

Green Garage Addition

1040 Chris Ln, McCall, ID 83638

Parcel # RP002800000950



Sheet Description

G100	Title
G101	General
G102	General Continued
A100	Site Plan
AD 101	Demo
A101	1st Floor Plan
A102	Bonus Floor Plan
A103	1st Floor Electrical Plan
A104	Bonus Electrical Plan
A201	Elevations
A301	Section
A401	Details
A105	Mechanical

Green Garage Addition
1040 Chris Ln, McCall, ID 83638
Parcel # RP002800000950



Design
Development

2/13/2021

Title

G100

Design Criteria

Building Codes

McCall Title 2 Building Codes	Building Codes, Regulations, and Permits
2018 International Building Code	
2018 International Residential Code	Including Parts V & VI
2018 International Engery Concervation Code	Residential portion ammended
2017 National Electric Code	
2017 Idaho State Plumbing Code	
2018 International Fuel Gas Code	
2015 International Fire Code	

Mcall Fire District	Sub-district 1
Zonning	R1
Elevation:	5,030
Seismic Category:	D
Weathering:	Severe
Wind:	115 MPH, exposure C (Per IRC and Valley County) 90 MPH, exposure B (Per McCall City) 169 MPH with topographical effects ENGINEER TO CONFIRM
Frost Depth:	24"
Termite:	Slight/moderate
Winter Design Temp:	8976 HDD
Flood Hazard:	None
Mean Annual Precipitation:	26"
Climate Zone:	5a
Square Feet:	
Existing Residence (excluded in remodeled)	2,270 sq ft
Existing Residence (included in remodeled)	130 sq ft
Existing Patio and Deck	360 sq ft
Bonus Floor	630 sq ft 485 sq ft (unconditioned attic storage)
Garage	1,490 sq ft
Driveway	5,825 sqft
Structural:	
Snow Load	120 to 150 lbs ENGINEER TO CONFIRM
See structural sheets	

General

- Contractors and Sub-contractors shall perform their trades and duties in a manner conforming to the procedures and requirements of the adopted codes and authority(ies) having jurisdiction, described under design criteria.
- Garage walls and ceilings shall be finished with not less than 1/2" gypsum board. If space above garage is habitable 5/8", type X gypsum board shall be used on ceiling.
- Stairs with accessible space underneath of them shall be protected underneath with not less than 1/2" gypsum board.
- Attic access hatches and doors shall have insulation greater to or equal to the adjcent assembly.
- Ventilation of existing crawl space and attic should not be reduced. Relocate vents as needed to maintain.
- All heating fixtures and equipment shall be installed according to manufactures instructions.



Jason
Allred

Green Garage Addition
1040 Chris Ln, McCall, ID 83638
Parcel # RP00280000950

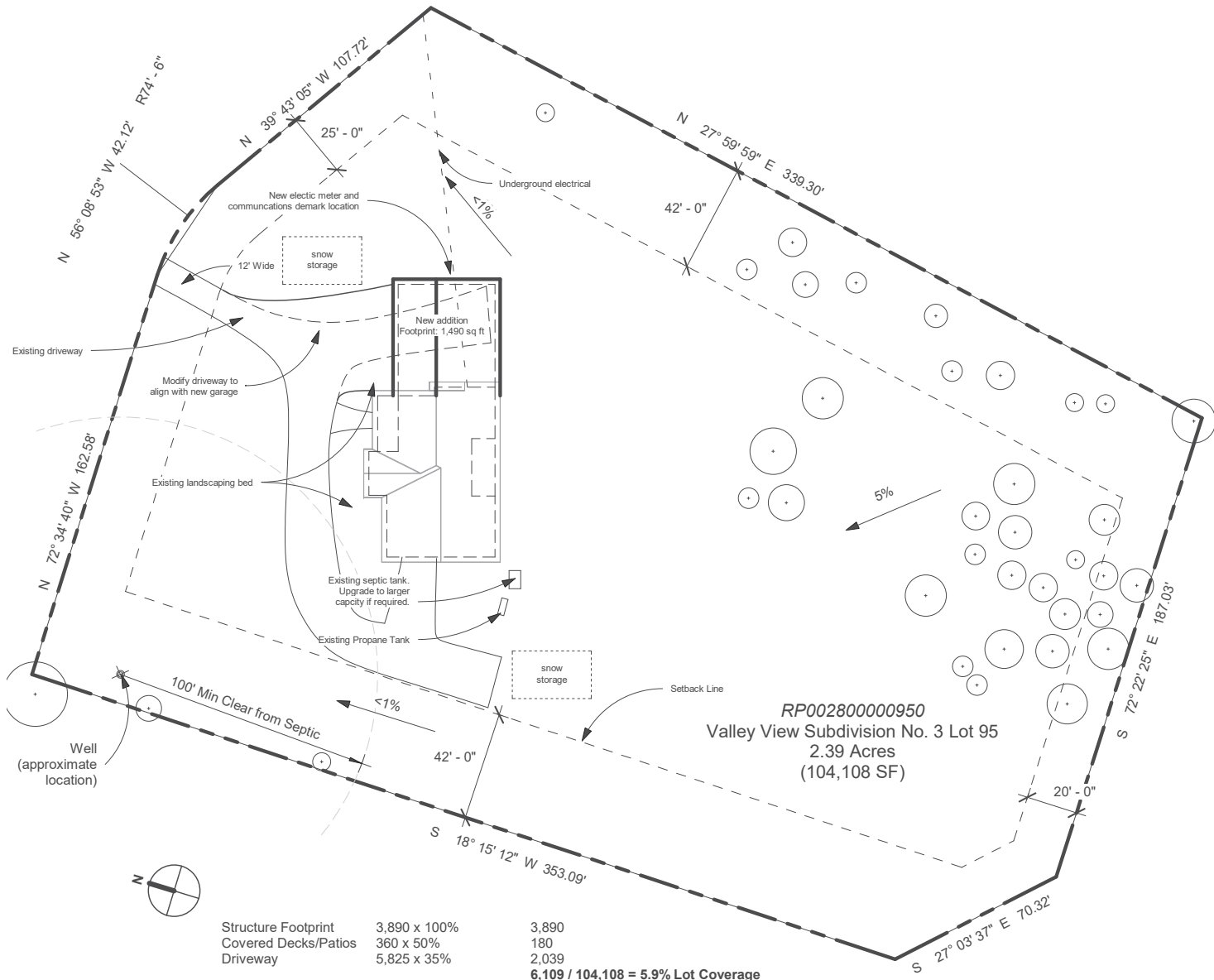
Design
Development

2/13/2021

General

G101

1. Provide manufacture manuals for mechanical and water heating systems.
2. All flues and combustion air intakes for wood burning fireplaces shall have tight fitting dampers.
3. Mechanical ventilation systems shall have gravity dampers. Those not a part of tested and listed HVAC equipment shall meet efficiency and air flow limits.
 - A. Kitchen exhaust fan(s) shall have an exhaust rate of 100 cfm intermittent or 25 cfm continuous.
 - B. Bathroom-Toilet room fan(s) shall have an exhaust rate of 50 cfm intermittent or 20 cfm continuous.
4. Building cavities shall not be used as ducts or plenums.
5. HVAC piping conveying fluids above 105 °F shall be insulated with no less than R-3 insulation.
6. Heating and cooling equipment shall be sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.
7. Air handler leakage shall be designated by manufacture to be no more then 2% of design air flow.
8. Protect all insulation on HVAC piping.
9. The heating system shall be controlled by a thermostat with the ability to program temperature set points for differing days and times, initially be programmed by manufacture.
10. Hot water pipe shall be insulated with no less than R-3 insulation.
11. 75% of lamps in permanent fixtures shall be high-efficiency OR 75% of fixtures which only use high-efficiency lamps shall be used.
12. Fuel gas lighting systems shall not use a continuous pilot light.
13. Venting of fireplaces, water heaters/boilers, and other fuel burning appliances shall be sized and installed according to the Idaho Plumbing Code (509 &510)
14. Recessed lights, outlets, and other penetrations of the air tight envelope will be gasketed, sealed, or otherwise constructed to restrict the leaking of conditioned air.
15. Maintain 6" min. in front of combustion openings and a 30" x 30" clear area with doors open on the service side of appliances
16. Supply or return ducts outside of the building thermal envelope shall be insulated;
 - A. In attics, ducts greater than 3 inches in diameter shall be insulated with no less than R-8 insulation and ducts less than 3 inches in diameter shall be insulated with no less than R-6 insulation.
 - B. In other areas, ducts greater than 3 inches in diameter shall be insulated with no less than R-6 insulation and ducts less than 3 inches in diameter shall be insulated with no less than R-4.2 insulation
17. For ducts and air handlers not located entirely within the building thermal envelop air leakage shall be tested at 25 pa either at rough-in or post construction.
 - A. At rough-in, leakage shall be less than or equal to 4 cfm per 100 sf of conditioned floor area with an installed air handler OR 3 cfm per 100 sf of conditioned floor area without an installed air handler.
 - B. At post construction, leakage shall be less than or equal to 4 cfm per 100 sf of conditioned floor area.



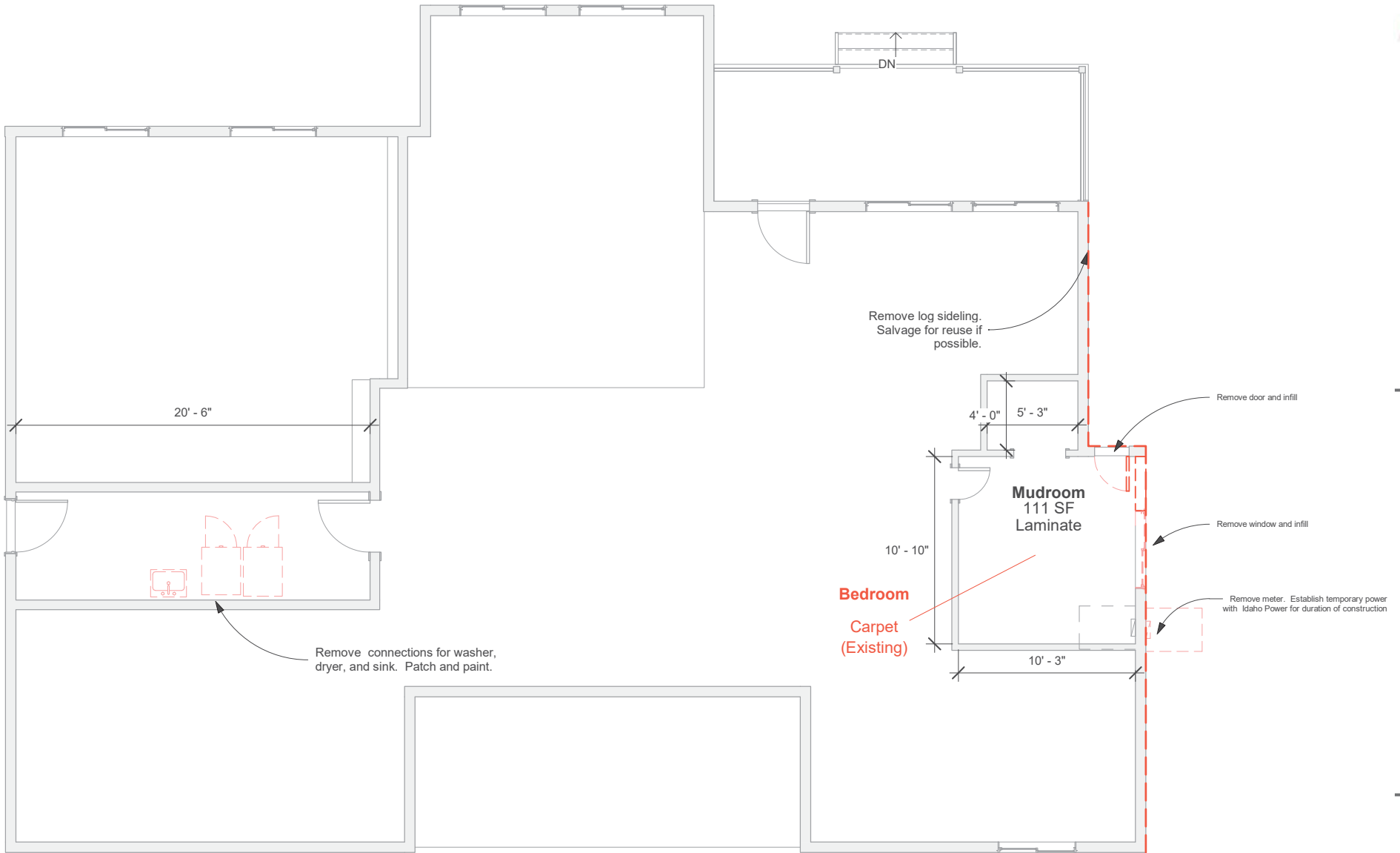
Structure Footprint	3,890 x 100%	3,890
Covered Decks/Patios	360 x 50%	180
Driveway	5,825 x 35%	2,039
		6,109 / 104,108 = 5.9% Lot Coverage

① Site Plan
1" = 40'-0"



Jason Allred

Green Garage Addition
1040 Chris Ln, McCall, ID 83638
Parcel # RP002800000950



2/13/2021 4:24:13 PM

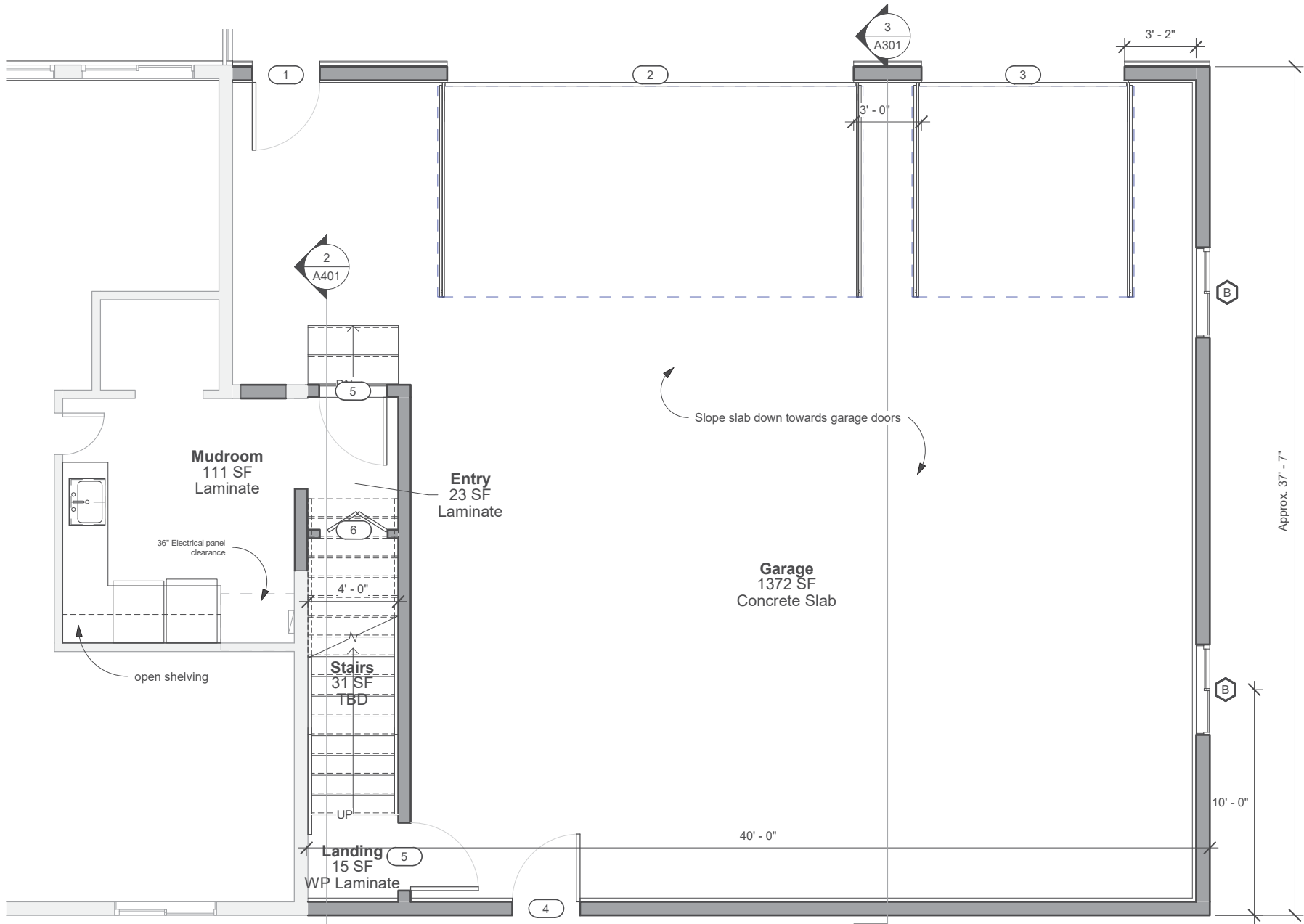
① 1st Floor Floor Plan Demo
3/16" = 1'-0"

Design
Development

2/13/2021

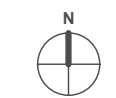
Demo

AD
101



① 1st Floor New Floor Plan
1/4" = 1'-0"

2/13/2021 4:24:07 PM

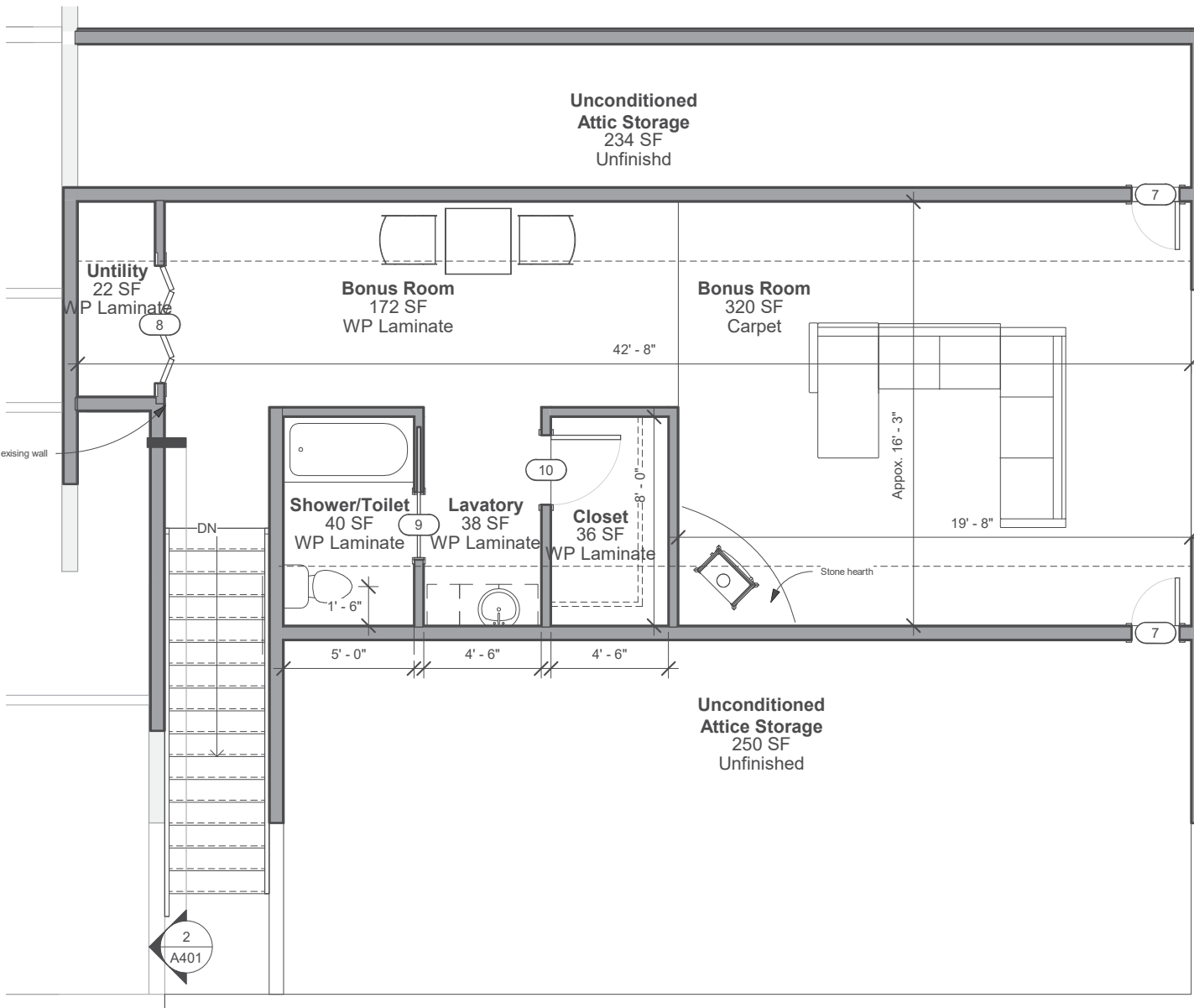


Design
Development

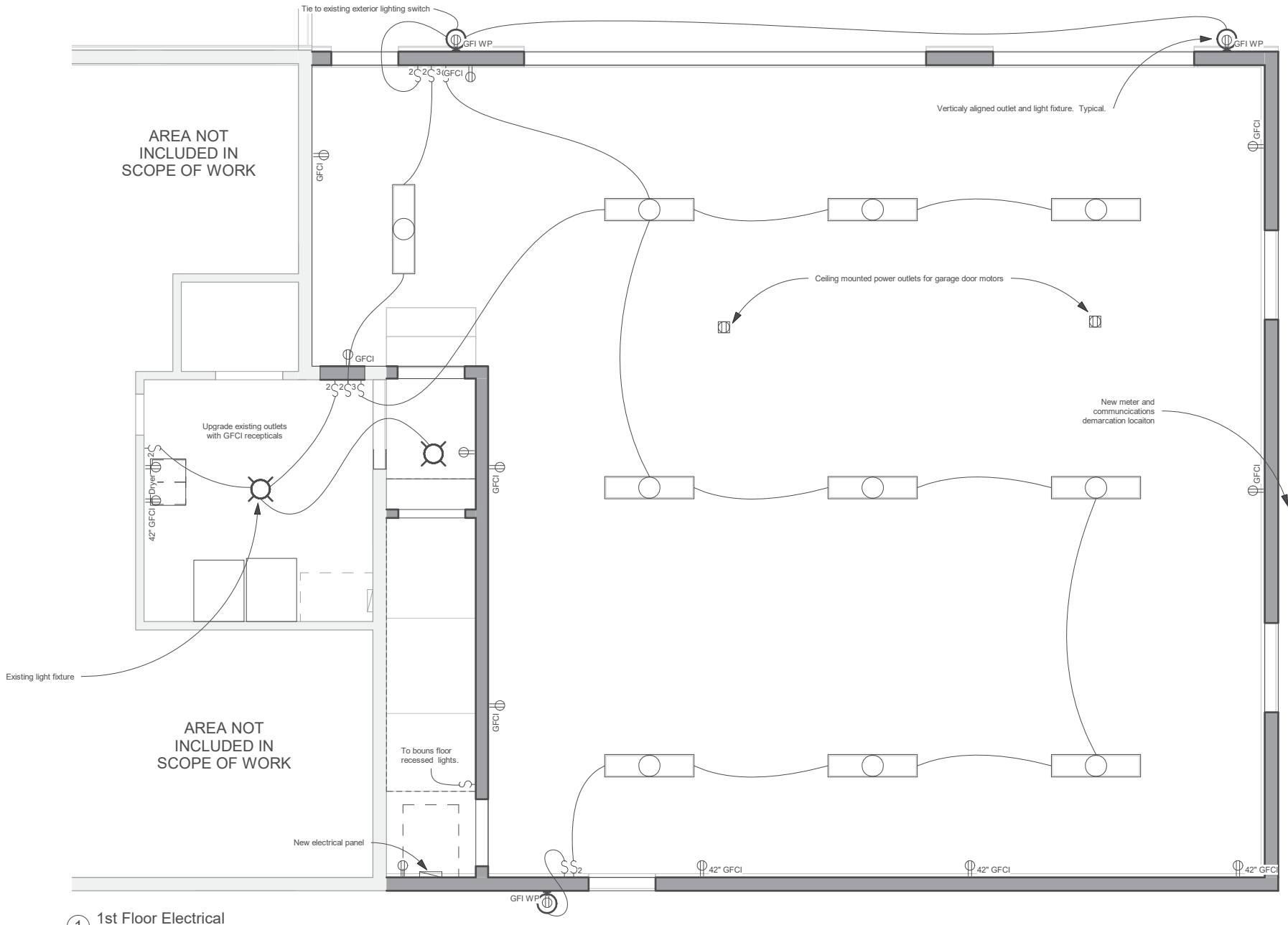
2/13/2021

1st Floor Plan

A101

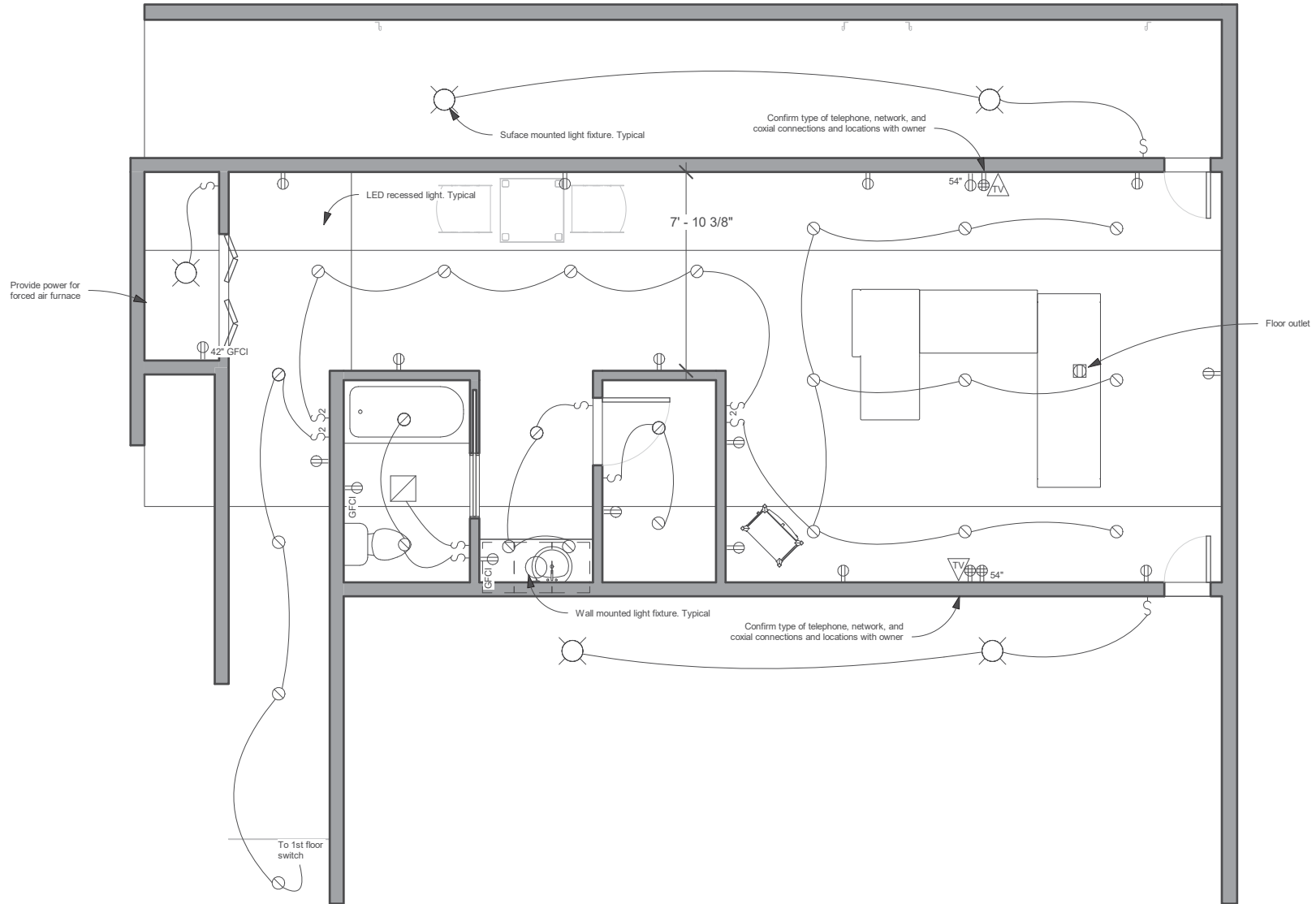


① Bonus Floor
1/4" = 1'-0"

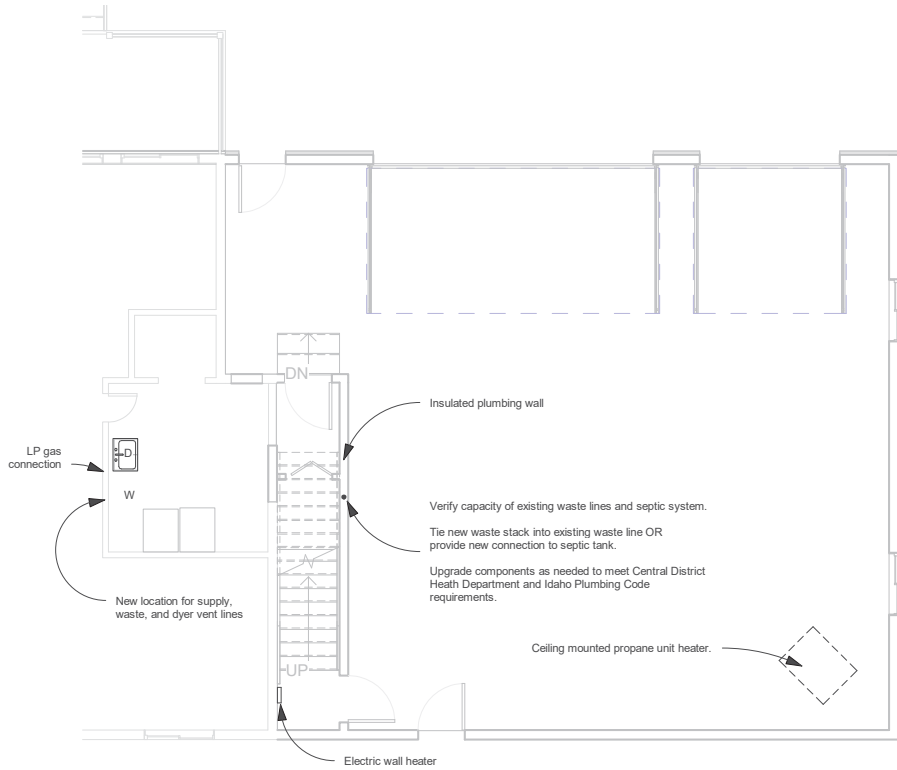


① 1st Floor Electrical
1/4" = 1'-0"

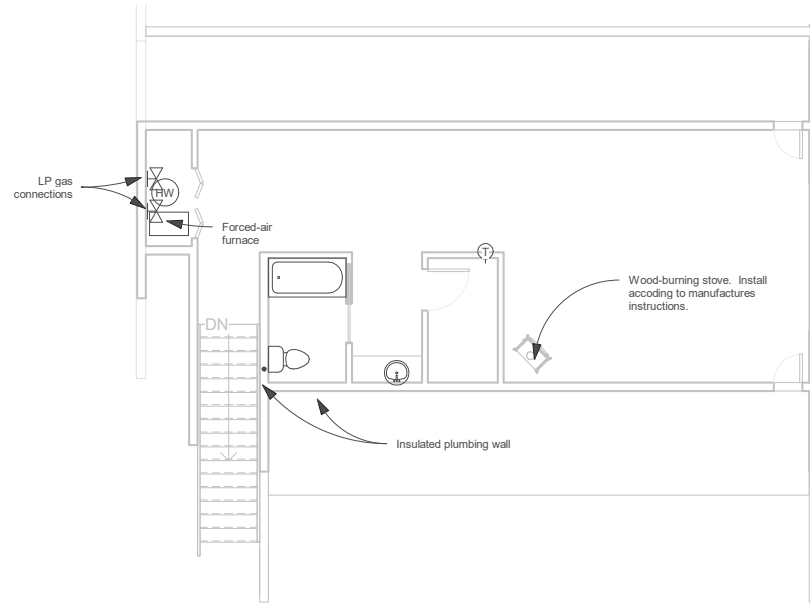
2/13/2021 4:24:08 PM



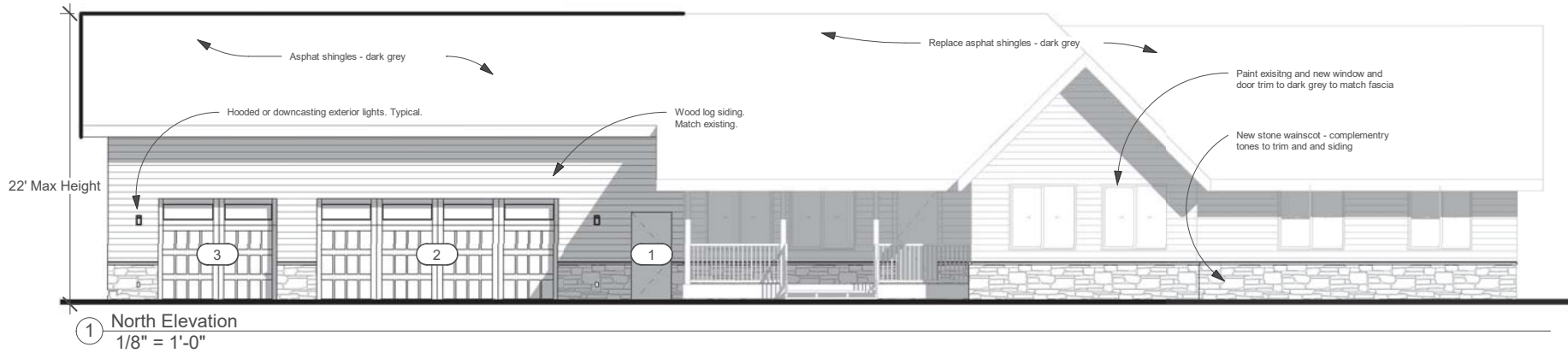
① Bonus Floor Electrical
1/4" = 1'-0"



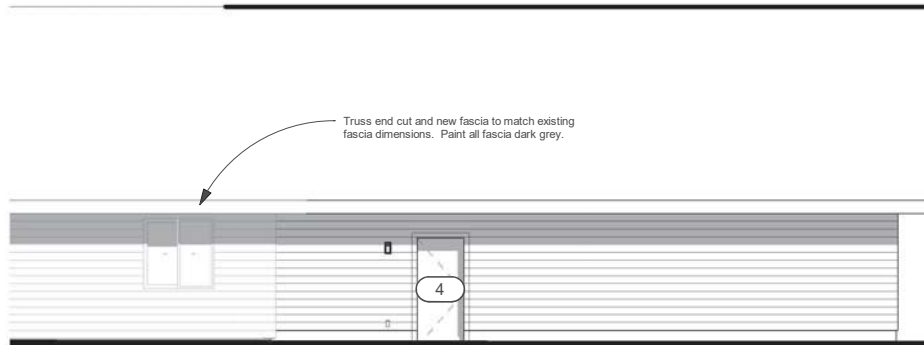
① 1st Floor Mechanical
1/8" = 1'-0"



② Bonus Floor Mechanical
1/8" = 1'-0"



1 North Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"



3 East Elevation
1/8" = 1'-0"

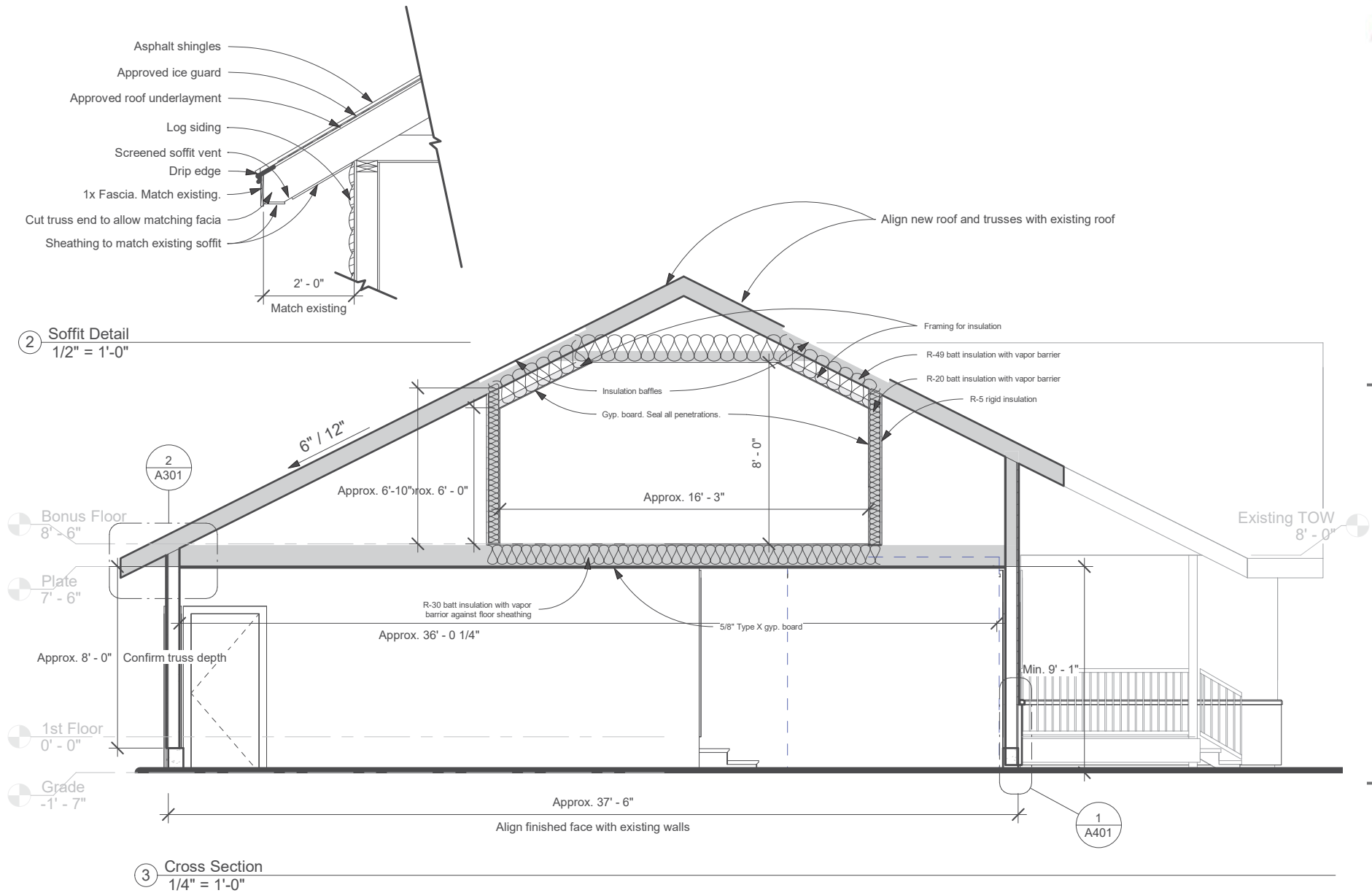
Door Schedule

Mark	Width	Height	Head Height	Comments
1	3' - 0"	7' - 0"	7' - 0"	Exterior. Match style and finishes of existing front door
2	0' - 0"	0' - 0"	0' - 0"	Limited head room, insulated panels, articulated design
3	0' - 0"	0' - 0"	0' - 0"	Limited head room, insulated panels, articulated design
4	3' - 0"	7' - 0"	7' - 0"	Exterior
5	3' - 0"	7' - 0"	7' - 0"	Exterior. Self closing fire-rated door
6	3' - 0"	5' - 0"	5' - 0"	Single bi-fold door
7	1' - 10"	5' - 6"	5' - 6"	Insulated attic access door
8	4' - 6"	6' - 8"	6' - 8"	Vented double bi-fold doors
9	2' - 6"	6' - 8"	6' - 8"	Pocket door
10	2' - 8"	6' - 8"	6' - 8"	

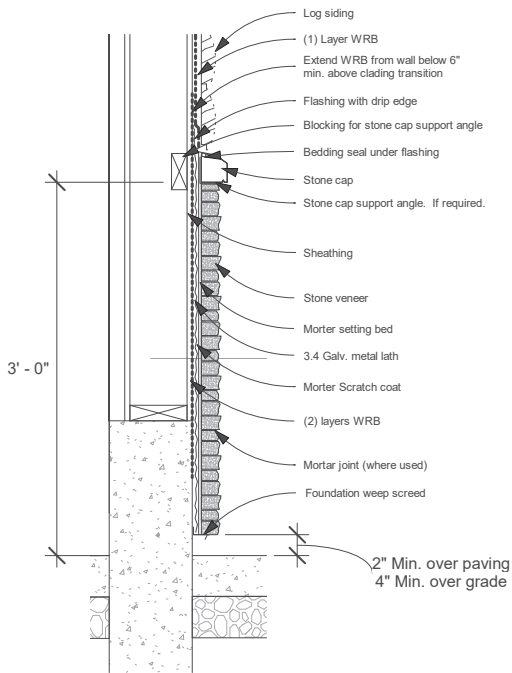
Window Schedule

Mark	Height	Width	Sill Height	Head Height	Comments
A	4' - 0"	10' - 0"	2' - 8"	6' - 8"	Match existing slider windows and trim
B	4' - 0"	4' - 0"	3' - 0"	7' - 0"	Match existing slider windows and trim

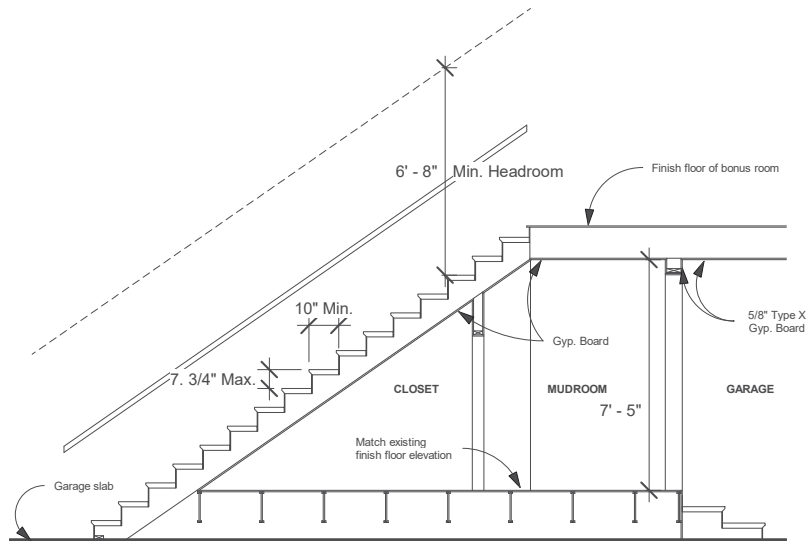
See structural sheets for structural construction



See structural sheets for structural construction



① Stone Wainscot Detail
1" = 1'-0"



② Stair Section
1/4" = 1'-0"

2/13/2021 4:24:13 PM

Meredith Todd

From: Morgan Stroud
Sent: Monday, May 10, 2021 10:03 AM
To: matthewcarnold@yahoo.com
Cc: Diane Kushlan; John Powell
Subject: DR21-11 - 1040 Chris Ln - Final Engineering Approval

Good morning,

I would like to add to the comments below that this project has Final Engineering Approval based on the materials that were reviewed in March.

Thank you,
Morgan S.

From: Morgan Stroud
Sent: Wednesday, March 24, 2021 8:47 AM
To: matthewcarnold@yahoo.com
Cc: Diane Kushlan <dkushlan@mccall.id.us>
Subject: DR21-11 - 1040 Chris Ln - Engineering Review #1

Good morning,

The City of McCall Public Works department has reviewed the materials that were provided for this proposal and has the following comments and requirements:

1. It is not anticipated that the stormwater drainage will alter much or affect neighboring properties taking into account the size of this project in relation to the size of the parcel. A formal stormwater management application, plan, and report will not be needed with this project. Reevaluation of these requirements will need to occur if the size and location of the proposed project on the parcel change.
2. The City's Building Department will monitor and inspect the temporary on-site stormwater controls.

Please let me know if you have any questions about the comments above.

Thank you,
Morgan Stroud, E.I. | Staff Engineer
216 E Park Street | McCall | ID 83638
Direct: 208.634.3458 | Cell: 208.315.2299



IN RE:)
)
CLOUD 9 EVENTS CENTER)
)
Conditional Use Permit &)
Design Review)
)
Application Number:)
CUP-21-04, DR-21-38)

**McCALL AREA PLANNING AND ZONING COMMISSION
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
DECISION**

FINDINGS OF FACTS

Applicant: James and Susan Evans

Representative(s): None

Application: An application for a Conditional Use Permit and Design Review to expand the use of the Bed & Breakfast/Short Term Rental and the property to be an Event/Activities Venue. The Conditional Use Permit and Design Review applications propose to do a high level of landscaping on the property as part of the Event Venue, and expand the size of the Carport, attached to the main building, from 1 car to 3 cars for a total building square footage of approximately 5,600 square feet.

Location: Situated in the E1/2 of the SW1/4 of the NW1/4 of the NW1/4 of Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Property Address: 201 Rio Vista Boulevard, McCall

Public Notices: Newspaper: The Notice of Hearing was published in the *Star News* on November 18, 2021
Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on November 19, 2021.
Posting: The Notice of Hearing was posted by the applicant on the subject property on November 19, 2021.

Meredith Todd

From: Susan Evans <susan@evergreengems.com>
Sent: Thursday, December 30, 2021 3:24 PM
To: Brian Parker; Meredith Todd
Cc: James Evans; Susan Evans
Subject: Re: FW: McCall Area Planning & Zoning Commission Meeting

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian and Meredith,

This email is the official request to withdraw our application for the conditional use permit with regards to 201 Rio Vista Blvd. We do however, wish to proceed with the design review for the carport at a later date. In other words, please separate this structure from the CUP application. We will officially inform you when we are ready to proceed with this design review in the next two to three months.

Please confirm receipt of this notice and thank you for your attention to this matter.

Sincerely,

Susan Evans - Partner
Evergreen Gems Vacation Rentals



On Wed, Dec 29, 2021 at 2:33 PM Brian Parker <bparker@mccall.id.us> wrote:

Jim & Susan,

Your application is on the McCall Area Planning and Zoning Commission agenda for January 4, 2022. The application materials can be found on pages 74-97 of the [Meeting Packet](#). You may attend in person or via the Microsoft Teams link below. If you plan on attending in person, compliance with the [City's COVID Protocols](#) is required.

Procedural History: A neighborhood meeting was held on October 17, 2021. A preliminary development plan review was conducted by the Planning and Zoning Commission on October 5, 2021. A public hearing before the Planning and Zoning Commission was held on December 7, 2021.

Zoning: R1 - Residential

Property Size: 4.86-acres

Lot Coverage: 14,410 square-feet (67% of allowed)

Proposed/Existing Setbacks: The required setbacks within the R1 – Residential zone are as follows:

	Proposed	Required
Front Setback	43.5-feet	30-feet
Rear Setback	368-feet	20-feet
West Side Yard Setback	137-feet	15-feet
East Side Yard Setback	17-feet	15-feet

Parking Spaces: The applicant is proposing to provide thirty (30) on-site parking spaces. McCall City Code Section 3.8.062 does not identify the minimum amount of required parking for event venues. The most similar land use in Table 3.8.062 is “Auditoriums, sports arenas, theaters and similar uses” which require one (1) parking space per five (5) seats. McCall City Code Section 3.13.09(A)(1) establishes a maximum of one (1) parking space per bedroom for short-term rentals. By this standard the applicant is providing adequate parking for the proposed uses as a 110-person event venue would require 22 parking spaces and an eight (8) bedroom short term rental would require eight (8) parking spaces, for a

total of thirty (30) parking spaces. Additionally, the applicant is proposing to construct a bus stop on the property along Rio Vista Boulevard, and to provide a shuttle service for events that conclude after the end of public bus service to the site.

APPROVAL STANDARDS

Title 3, Chapter 13

Conditional Use Permit

A Conditional Use permit shall be granted only if the Commission finds that the use, as applied for, will:

1. Constitute a conditional use authorized in the zone involved.

Event venues are not included in the Table of Permitted and Conditionally Permitted Uses within Residential Zones included within McCall City Code Section 3.3.02. As a result, a conditional use permit is required pursuant to McCall City Code Section 3.3.02(A).

2. Be harmonious with and in accord with the general objectives and with any specific objectives of the comprehensive plan and/or this title.

The proposed use is in accord with the general objectives of McCall City Code Title III and the McCall Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan and McCall City Code Title III.

3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area.

Due to the scale and nature of the outdoor events as proposed, the event venue is likely to change the essential character of the surrounding area.

4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use.

The proposed development may have general welfare impacts on the neighborhood due to noise and traffic.

5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction.

The proposed development is not anticipated to cause undue harm to any land or waters within the planning jurisdiction.

6. Not create excessive additional public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.

The proposed events center is not anticipated to generate excessive additional public costs or be detrimental to the economic welfare of the community.

7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service.

The proposed development is located adjacent to a public transit route and is adequately served by public facilities.

8. Not involve uses, activities, processes, materials, equipment, or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution.

No use involving smoke, fumes, glare, or odors is proposed. The proposed use may create unreasonable noise.

- 9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment.**

The proposed vehicular approaches are unlikely to create a detrimental interference on traffic or the quality of the pedestrian environment as they are adequately spaced from existing approaches.

- 10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature.**

No impacts on natural, scenic, or historic features are anticipated to occur from this development.

- 11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable.**

Adequate space exists on the property to accommodate the proposed use.

- 12. Have a minimal negative economic impact on the neighborhood or surrounding community.**

Negative economic impact on the neighborhood may occur due to noise and traffic.

Title 3, Chapter 16.07

Design Review Criteria

The commission shall determine the following before approval is given:

- (A) The project is in general conformance with the comprehensive plan.**

The project is in general conformance with the McCall Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan.

- (B) The project does not jeopardize the health, safety or welfare of the public.**

The proposed development is not anticipated to have significant health, safety, or general welfare impacts on the existing neighborhood.

(C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section [3.16.01](#) of this chapter.

The proposed use is in accord with the general objectives of McCall City Code Title III and the McCall Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan and McCall City Code Title III.

(D) The project will have no substantial impact on adjacent properties or on the community at large.

No substantial negative impact on adjacent properties or the community at large is anticipated with this development.

(E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.

N/A

(F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.

N/A

(G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

N/A

DEPARTMENT/AGENCY/PUBLIC COMMENTS

Agency –

McCall Public Works

See attached letter dated September 23, 2021.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated November 16, 2021.

Central District Health (CDH)

In an email dated November 4, 2021, CDH requested clarification regarding water and sewer service on the subject property. Upon receipt of a clarifying email from the applicant, CDH had no objections to the application

McCall Fire & EMS

In an email dated November 5, 2021, the Fire Chief had the following comments:

The building at 201 Rio Vista Blvd was likely built under the residential code. Idaho's adopted fire code correlates with the Building Code, in which commercial buildings are constructed. The fire code and building code do not apply to one- and two-family dwellings built under the residential code, which this home originally was. The city building official determines occupancy classification at the time of construction and can change it if the use of the building changes.

The fire code defines occupancies containing sleeping units where the occupants are primarily transient in nature as being classified as R-1, which includes boarding houses with more than ten occupants, congregate living facilities with more than ten occupants, hotels, and motels. A traditional home, where the occupants are primarily permanent in nature, is classified as R-3. The main difference between the two classifications regarding fire code is that R-1 occupancies require automatic fire sprinkler systems, but R-3 does not. In my opinion, based on the 2018 fire code, any

building that sleeps over ten occupants, transient in nature, should have an automatic fire sprinkler system installed.

Because of the use classification, my comments are recommendations to the City of McCall Planning and Zoning and the City of McCall Building Official based on applying the 2018 International Fire Code to the intended use of the building, R-1. They are recommendations as the fire district does not have the authority to inspect or enforce fire code on one-and-two family dwellings.

Recommendations:

- An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout the building. (IFC2018 903.2.8 Group R). The building fire alarm system shall monitor the automatic fire extinguishing system in accordance with NFPA 72 (IFC2018 904.3.5).
- Per (IFC2018 [A] 102.3 Change of use or occupancy), a building code analysis should be done to bring the structure up to building code standards, as determined by the city building official, including smoke detectors and carbon monoxide detectors installed following current building code and for the intended use.
- A parking plan for guest vehicles should be developed to make the driveway accessible for emergency vehicles (IFC2018 403.12.2).

McCall Building Department

In an email dated November 18, 2021, the Building Official had the following comments:

As a follow-up to Garrett's email, I agree with him. Here is a summary of how the project relates to the building code requirements:

1. Bed & Breakfast – Currently approved for 19 occupants. If the applicant wishes to increase the number of occupants the occupancy type will change to R-1 and fire sprinklers will be required, along with other potential upgrades.
2. Event Center – An event center is a different occupancy type. It would be classified as an Assembly Occupancy. This would also activate the requirement for fire sprinklers and fire walls, etc. If the applicant wishes to use the grounds as an event center, the Bed & Breakfast structure may not be used as part of the Event. (Unless a code study and code upgrades are made to comply with an A-3 Occupancy.) Additionally, should the kitchen be used for Events, the kitchen would need to be upgraded to a commercial kitchen.

McCall City Arborist

In an email dated November 26, 2021, the McCall City Arborist had the following comments:

I would like to express our concern regarding the noxious weed problems this property has and encourage planning and zoning to make it a condition of approval that these issues be addressed. It would be our recommendation that they have a mitigation plan to control and manage this issue both during construction and into the future.

Public –

Written Comment

Letter received on November 30, 2021, from Kent Graefe and Tammy L. Buck expressing concern.

Email received on December 1, 2021, from Jon Sanchez expressing concern.

Email received on December 2, 2021, from Eric & Laura Wennerlund expressing concern.

Letter received on December 3, 2021, from Brian, Katy, Tristen and Sascha Stoll expressing concern.

Email received on December 5, 2021, from Scott & Nancy Cyr expressing concern.

Email received on December 7, 2021, from Joy Murphy expressing concern.

Oral Comment Received During the December 7, 2021 Public Hearing

Comment received by Dominick Guliuzza expressing concern.

Comment received by Jodi Guliuzza expressing concern.

Comment received by Matt Brewster expressing concern.

Comment received by Brian Stoll expressing concern.

Comment received by Daniel Brown expressing concern.

Comment received by Bonnie Bertrum expressing concern.

Comment received by Jon Sanchez expressing concern.

Comment received by Brad Burrough expressing concern.

Comment received by James Zackery expressing concern.

Comment received by Pat Zack expressing concern.

Comment received by Ben Bruneau expressing concern.

Comment received by Bob Joyce expressing concern.

Comment received by Katy Stoll expressing concern.

Comment received by Lee Brown expressing concern.

Comment received by Piers Lamb expressing concern.

Comment received by John and Laurie Stumpenger expressing concern.

Comment received by Steve Millemann on behalf of several neighbors of the project expressing concern.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Conditional Use Permits, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Adequate notice of the December 7, 2021 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.

3. The application does not meet the Conditional Use Permit Standards set forth in Title 3, Chapter 13 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Conditional Use Permit application to the McCall City Council for **denial**.

Findings of Fact **adopted** this 4th Day of JANUARY, 2021.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received: _____

Fees Paid: _____

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: James Evans Email: jim@evergreengems.com
Mailing Address: 420 Wilhelm Creek Ct. McCall, ID 83638 Phone: 610-547-5877
Property Owner 2 (If Applicable): _____ Email: _____
Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Susan Evans Email: susan@evergreengems.com
Mailing Address: 201 Rio Vista Blvd. Phone: 208-631-0576

PROPERTY INFORMATION

Address(es) of Property: 201 Rio Vista Blvd
Legal Description of Property: _____
Zoning District of Property: R1 Project Sq. Footage (If Applicable): _____
Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

See attached

201 RIO VISTA BLVD

NEIGHBORHOOD MEETING HELD 10/17/21 5:30 - 6:30 PM

SIGNATURES

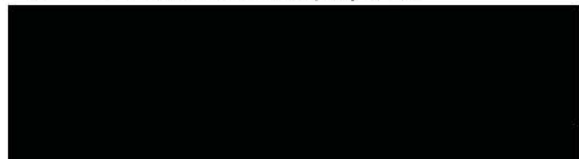
The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

JAMES EVANS

Property Owner 1



Property Owner 2 (If Applicable)



Signature



Agent/Authorized Representative

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.



Limited Edition Vacation Rentals & Property Management

Cloud 9

Conditional Use Permit Application

Evergreen Gems Property Management

Project Description

10/25/2021

The Lodge on Cloud 9 (formerly The Northwest Passage Bed & Breakfast CUP-18-11 which we would like to retain) is also currently operated as a short-term rental property. Our proposal is to continue to host as a Bed & Breakfast during the off seasons, as a short term rental the majority of the time year-round and to enhance the natural environment/acreage surrounding the lodge to periodically host guests for outdoor day use events such as weddings/receptions, family reunions, corporate retreats, etc.

The lodge itself has nine bedrooms and ten bathrooms with sleeping capacity for up to 26 individuals in beds which we would like to enable (we currently allow a maximum of 19). With a mid-level pricing plan, we expect the majority of the events held will consist of fewer than one hundred guests (probably run between 50-75) with a maximum of one hundred ten guests a couple of times a year.

The comprehensive plan has identified this area for density higher than R1(R2/4) based on its proximity to the industrial park to the southeast, the storage facility and apartments to the southwest and the single-family homes on R4 property in the process of being built directly across the street to the northwest. We believe that this proposed use is a great segue from industrial and multifamily use to R4 single family homes across the street to the north and for R1 homes further to the northeast.

To meet the needs of an event facility and to be considerate of our neighbors with regards to traffic, noise and safety, we have completed a comprehensive survey of the property and contracted a landscape architect to develop a high-level plan (see attached) to address the 3.13.03 standards required for conditional use.

Proposed/Existing Setbacks:

The current lodge meets setback requirements. We do propose to add small arbor type structures and some storage shed facilities that will be well within the setback requirements.



Limited Edition Vacation Rentals & Property Management

Event Transportation & Parking:

Use of the McCall Free Transit system will be encouraged for guests attending daytime events, but not staying at the property. (Current stop is at the corner of Rio and Boydston). We will also offer a drop point at the property with a path to a bike parking area and the event space. The fixed line route is a flag stop system, and anyone who needs to use the service may flag the bus anywhere along the route where it is safe to do so. Harlow's Shuttle Service will be hired for events that last into the evening beyond 7pm.

Current parking is six (6) paved and seven (7) gravel spaces for a total of thirteen (13) spaces. Per CUP-18-11 (approved for the Bed and Breakfast at this property) - one parking space is required for each sleeping room or nine (9) spaces for overnight guests. The current plan shows a total of about 30 parking spaces. For events, we expect half of those vehicles to bring (2) guests and the other half to bring four (4) guests. There is also parking for bicycles, the option for guests to use the McCall transit system during the day or guests can hire Harlow's private shuttle service.

Title 3, Chapter 13 Conditional Use Permit Standards:

A – Public Hearing: 1) The Neighborhood meeting was held at 201 Rio Vista Blvd. on October 17th from 5:30 – 6:30 pm. Comments and concerns have been addressed in the overall description and the findings below. The next public meeting notices will be mailed and posted no later than November 22nd.

B – Findings:

1. Constitute a conditional use authorized in the zone involved. *(Please see introduction)*
2. Be harmonious with and in accord with the general/specific objectives of the comprehensive plan and/or this title.

Character:

Utilize unique development tools to create a transition from commercial development to residential development and provide open space.

Honor the strong sense of pride in the City's history and heritage throughout McCall.

Emphasize residents' quality of life through a strategy that considers the needs of the various constituencies (full-time residents, visitors, and second homeowners).

Economy:

Ensure a strong and sustainable year-round economy of local businesses.

Strengthen the year-round economy with the addition of conference facilities and boutique hotel venues.

Connections:

Support and utilize public transportation, both within McCall and to the surrounding cities in the West Central Mountain region.



Limited Edition Vacation Rentals & Property Management

3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area. *The existing structure is currently used as a vacation rental and a Bed and Breakfast. Many extended families and friends look for the opportunity to stay together on a single property (there are few that can accommodate larger groups). The proposed additional usage upgrades should only enhance the character of the area.*
4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use. *The use should not be detrimental to the health, safety, and general welfare of the neighborhood. An Evergreen Gems manager will be onsite for all events to make sure everything flows smoothly.*
5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction. *The plan is to **actually improve** the environment by adding a significant number of additional indigenous trees, shrubs, grasses, wildflowers, etc.*
6. Not create excessive additional public cost for public facilities and services and will not be detrimental to the economic welfare of the community. *The use will not create any additional cost for public facilities and services as it is already served. It will also contribute to the economic welfare of the community through the hiring of private services.*
7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service. *The proposed event venue is within the City Limits and is served by existing water and sewer services, garbage services, has police and fire protection, well maintained local streets and is just off a major collector. The property has a separate well for irrigation of the enhanced landscape, will bring in contracted Honey Dippers “porta-potties” and additional trash receptacles as required.*
8. Not involve uses, activities, processes, materials, equipment or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution. *The use and activities proposed are commensurate with the property size, location and distance from neighbors and should not produce any excessive forms of pollution. Quiet hours will be enforced from 10pm – 8am and any music or noise during regular hours will be directed towards the industrial area and buffered by the house and water features. Traffic will be minimal as cars will be directed to the major collector*



Limited Edition Vacation Rentals & Property Management

(opposite and away from the neighborhood to the east) and the use of hired or free public transportation will be encouraged.

9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment. *The updated approaches will improve the process of entering and exiting the property. Current departure is difficult due to steep inclines and lack of good visuals up and down the street. There will also be bicycle parking and a pedestrian path from the shuttle drop point to gain access to the property.*
10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature. *The current lodge structure will be maintained. We have added a special "shrine" commemorating the association with the filming of "Northwest Passage". We have already cleared out many dangerous dry and dead debris around the area to mitigate potential fire hazard. Many indigenous species trees/plants will be added to the landscape. More trees and plants = better air!*
11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable. *The site is approximately 4.8 acres and is of sufficient size to accommodate the proposed use with enhanced gardens, open spaces, snow storage, parking areas, loading zones, etc.*
12. Have a minimal negative economic impact on the neighborhood or surrounding community. *The project as proposed will have a positive economic impact on the surrounding community as guests will use many private services to help enable these businesses to grow.*



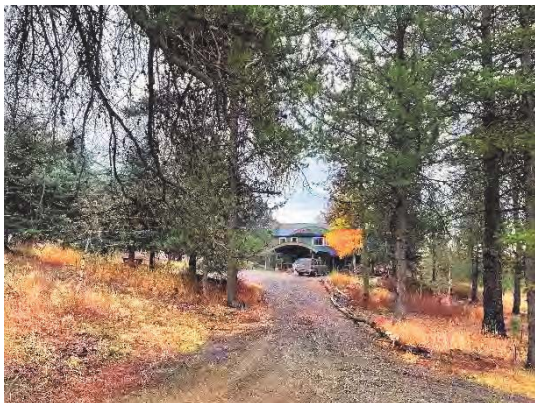
Current entry from street (too steep)



new entry



Limited Edition Vacation Rentals & Property Management



New entry split to house



main house parking area



Main house carport entry and snow storage



future carport site (bldg. approved)



Future gravel parking event (snow mobile trailers)



small parking slots – no trees removed



Limited Edition Vacation Rentals & Property Management



Future catering access and parking



parking/catering



Dining Tent site



Dining Tent example (temporary structure)



Future cascading water feature and garden site with deck promenade to ceremony space



Limited Edition Vacation Rentals & Property Management



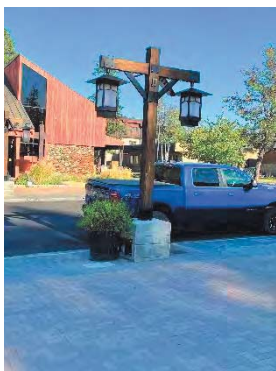
Water garden ideas – don't be fooled by palm trees!



Ceremony site



just an example of what a set up might look like



example of lighting in parking area (all lighting will follow city/dark sky requirements)

Topographic Survey for Evergreen Gems

Situate in a Portion of the NW 1/4 of the NW 1/4 of Section 17
Township 18 North, Range 3 East, Boise Meridian
City of McCall, Valley County, Idaho
2021

RECEIVED
10/26/2021



Legend:

	FOUND 1/2\"/>
	FOUND 2\"/>
	SURVEY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	ROADWAY CENTERLINE
	EASEMENT LINE
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	FENCE LINE
	RIGHT-OF-WAY LINE
	SAWTOOTH GREEN LINE
	WATER LINE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	ELECTRIC BUILDING
	EXISTING GROUND CONTOUR

Referenced Survey Table:

R1.	PLAT OF MCCALL VALLEY STORAGE CONDOMINIUM, BOOK 13, PAGE 64, INSTRUMENT # 63465, RECORDS OF VALLEY COUNTY.
R2.	PLAT OF MCCALL INDUSTRIAL PARK, BOOK 8, PAGE 11, INSTRUMENT # 156826, RECORDS OF VALLEY COUNTY.
R3.	RECORD OF SURVEY, INSTRUMENT # 303342, RECORDS OF VALLEY COUNTY.
R4.	RECORD OF SURVEY, INSTRUMENT # 288234, RECORDS OF VALLEY COUNTY.

- Keynotes:**
- UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
 - BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND POINT MONUMENTS ON THE GROUND. ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
 - THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83), WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEM METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.

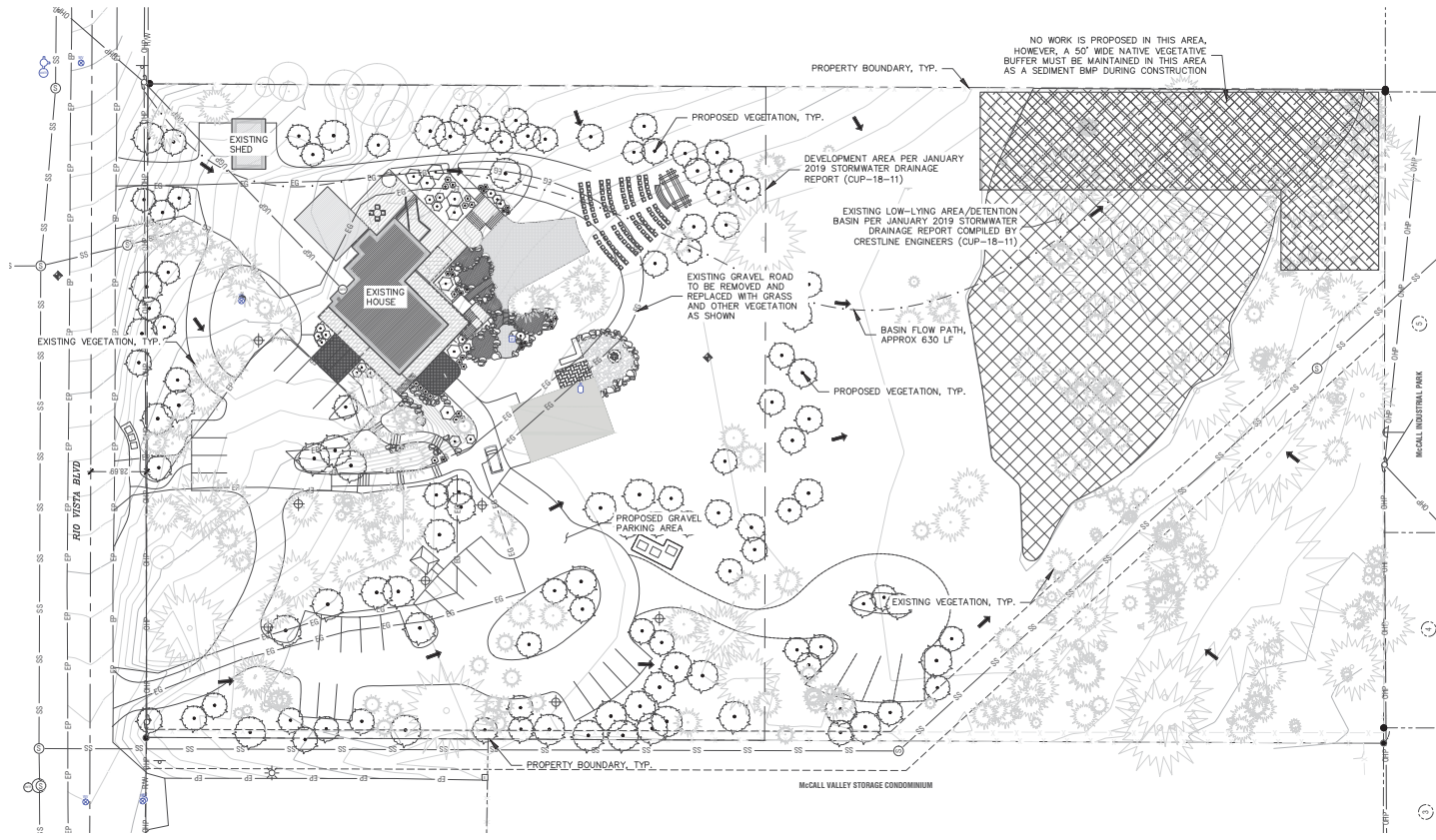
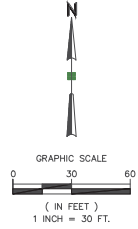


**Topographic Survey
Evergreen Gems Cloud 9**
201 Rio Vista Blvd.
McCall, ID 83638



Project No.: 01719
Date of Issuance: September 2, 2021
Project Location:

RECEIVED
By Meredith Todd at 9:56 am, Oct 26, 2021



- LEGEND**
- FLOW PATH
 - - - - - DEVELOPMENT AREA BOUNDARY
 - - - - - PROPERTY BOUNDARY
 - [Cross-hatch pattern] EXISTING LOW-LYING/DETENTION AREA
 - [Grid pattern] EXISTING LOW-LYING/DETENTION AREA
 - FLOW ARROW

- NOTES**
1. ALL SITE GRADING ADJACENT TO BUILDINGS SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDING AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS.
 2. DRIVEWAY AND GRAVEL PARKING AREAS SHALL BE GRADED IN A WAY TO NOT SUBSTANTIALLY ALTER EXISTING DRAINAGE PATTERNS AS ILLUSTRATED IN THIS GRADING AND DRAINAGE PLAN.
 3. AREAS WITHIN THE PROPERTY BOUNDARY SHALL BE SLOPED TO RETAIN RUNOFF ON-SITE. IF NECESSARY, SWALES SHALL BE CONSTRUCTED TO PREVENT RUNOFF FROM FLOWING ONTO ADJOINING PROPERTIES.
 4. REVEGETATION AND STABILIZATION OF DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECT LANDSCAPE PLAN.
 5. A MINIMUM OF A 50' WIDE VEGETATIVE BUFFER SHALL BE RETAINED ON THE DOWNHILL PORTION OF THE SITE AS A SEDIMENT CONTROL BMP, AS SHOWN ON THE PLAN VIEW.

CLOUD 9 - GRADING, DRAINAGE & STORM WATER MANAGEMENT PLAN
 PROJECT NO. _____
 SCALE: 1"=30'
 McCall

DESIGNED BY: N/A	CHECKED BY: N/A
DRAWN BY: AME	PLOT DATE: 10/23/21
DATE: _____	DESCRIPTION: _____
SHEET	
1 OF 1	

P:\PROJECTS\2021\CLOUD 9 - GRADING, DRAINAGE & STORM WATER MANAGEMENT PLAN\CLOUD 9 - GRADING, DRAINAGE & STORM WATER MANAGEMENT PLAN.dwg

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: Evergreen Gems Cloud 9
Location: 201 Rio Vista Boulevard, McCall, ID 83638
2. Owner's Name: James L. Evans
Street: 201 Rio Vista Blvd. City: McCall
State: ID Zip Code: 83638 Phone: 601-547-5877
3. Project Description: The proposed project includes a CUP application to hold events on the property. Improvements are generally landscape related with minimal additional impervious areas. The project will provide additional gravel parking areas to accommodate guests, paver patios to provide social areas and a dance floor, as well as the conversion of some existing gravel driveway areas into lawn for events. The project will also provide substantial additional vegetation and plantings across the site.
 - a. Total property area, in acres. 4.86 Acres
 - b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. The total approximate existing impervious area is 9,319.2 SF (Existing Conditions).
The project is proposing additional impervious areas as follows: Covered Parking - 929 SF
Additional Decking - 1,552 SF, Paver Patio Space - 2,288 SF. | TOTAL IMPERVIOUS = 13,939 SF
 - c. Describe existing vegetation present on site. Existing site contains coniferous and deciduous trees, as well as sparse to light understory vegetation such as sagebrush
 - d. Start date of construction. Spring 2022
 - e. Estimated length of time to complete improvements. 6-12 months
4. Stormwater Management Plan/Report attached? Yes No
5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.
A B C D E F
6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>James L. Evans</u>	<u>Owner</u>	<u>James L. Evans</u>	<u>10.24.21</u>
Name	Title	Signature	Date
<u>201 Rio Vista Blvd.</u>		<u>601-547-5877</u>	
Address		Daytime Phone	After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

Representative	Title	Signature	Date
----------------	-------	-----------	------

**McCall Area Planning and Zoning Commission
Staff Report**

DR-21-37, SR-21-19, SH-21-13

1940 Warren Wagon Road

January 4, 2022

Applicant: Mark Bottles
Representative: Jevon Truex
Application: Design Review, Scenic Route Review, Shoreline Review
Zoning District: R4 – Low Density Residential
Jurisdictional Area: Area of Impact

Description

An application for Design, Shoreline, and Scenic Route Review to construct a new, single-family residence totaling 7,181 sq. feet including a covered deck and attached 3-car garage.

Staff Analysis

Project Information

Zoning District: R4 – Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 1.26-acres (54,886 square-feet)

Proposed Use: Single-family residence

Dimensional Standards:

	Proposed	Required
Front Setback	55-feet, 0-inches	Greater than 20-feet
Rear Setback	57-feet, 7-inches	Greater than 20-feet
Side Yard Setback 1	17-feet, 3-inches	Greater than 13-feet, 6-inches
Side Yard Setback 2	16-feet, 11-inches	Greater than 13-feet, 10-inches
Eave Height 1	23-feet, 0-inches	Less than 34-feet, 7-inches
Eave Height 2	15-feet, 6-inches	Less than 33-feet, 10-inches
Both Side Setbacks must add up to:	Greater than 35-feet, 0-inches	Greater than 35-feet, 0-inches
Lot Coverage (square-feet)	5,095 square-feet	Less than 10,310 square-feet
Lot Coverage (percent)	9.5%	Less than 18.8%
Snow Storage	1345 square-feet	Greater than 266 square-feet
Building Height	31-feet, 2-inches	Less than 35-feet
Structure Size	8,597 square-feet	Less than 10,000 square-feet

* Except where the 50-foot shoreline setback extends beyond the required rear setback.

Code Sections of Interest

- McCall City Code Section 3.3.09(C): Residential Zone Design Review Standards”
Residential Design Standards:

1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:

- a. The principal structure on the site is the dominant element.
- b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
- c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.

d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.

2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:

a. Materials:

i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.

ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.

iii. Metal when used in combination with natural materials.

b. Roofs:

i. Roofs that compliment and respond to the mountain setting and heavy snow environment.

ii. Hipped, pitched, shed and gabled roofs.

iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.

iv. Class A fire rated roof assemblies.

c. Exterior Color:

i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.

ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.

d. No blank walls shall face street frontages, including blank or unarticulated garage doors.

e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.

- McCall City Code Section 3.7.023(B): Requirements for Development:

(B) Permit Criteria: No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. The proposed development meets all applicable requirements of this title and title IX of this code.
2. The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard.
3. A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met; if a permit requirement is not met, the city may revoke its approval(s) under this title and title IX of this code.
4. The requirements of the underlying zone are met.
5. The fifty foot (50') building setback line is met per subsection (C)3(c) of this section.
6. Proof of stormwater certification training has been provided by the individual applying for the building permit.

- McCall City Code Section 3.7.031: Lands Included

The scenic route zone includes:

(A) One hundred fifty foot (150') wide strips of land bounded by the right of way lines of the following named streets, and by lines parallel to and one hundred fifty feet (150') away from such right of way lines, together with any right of way not part of the roadway:

3. Warren Wagon Road to the northern boundary of the area of city impact.

(B) Any structure or a portion thereof which may be visible when traveling along the roadways designated above and any part of which is located within one hundred fifty feet (150') of the nearest right of way line of a road named in this section or designated pursuant to this section; such a structure is subject to design review and approval under chapter 16, "Design Review", of this title, notwithstanding that portions of the structure are not on land that is within this zone.

- McCall City Code Section 3.7.032(B): Requirements for Development:

The commission shall ascertain whether the proposed development, improvement or use will:

1. Block or disrupt the visibility of significant views or features.

2. Be compatible (in terms of setback, bulk, height, design, finish materials, signing and landscaping) with its immediate surroundings and the desired visual quality of the scenic route.

- McCall City Code Section 3.7.032(l): Requirements for Development:

Landscaping: In addition to the requirements set forth in section 3.8.13 “Landscaping, Screening And Buffering,” development within the scenic route zones shall provide the following landscaping:

1. One (1) native tree including evergreen and deciduous and three (3) native shrubs each ten feet (10') of the linear street frontage along the scenic route. Not less than fifty percent (50%) shall be evergreen trees.

2. The required landscaping shall be located with a twenty-five feet (25') setback from the scenic route. Landscaping shall be arranged within groups or clustered allowing spacing for natural maturity. Linear designed landscaping is not acceptable.

3. If conflicts arise between this section and section 3.8.04 “Fire Mitigation Standards,” or in the use of any snow storage or utility easements, a recommended resolution will be the responsibility of the McCall Fire Protection District or the Administrator.

- McCall City Code Section 3.16.07: Design Review Criteria:

The commission or administrator shall determine the following before approval is given:

(A) The project is in general conformance with the comprehensive plan.

(B) The project does not jeopardize the health, safety or welfare of the public.

(C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.

(D) The project will have no substantial impact on adjacent properties or on the community at large.

(E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.

(F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.

(G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Low Density Residential:

This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites.

Staff Discussion

- The landscape plan, dated October 21, 2021, shows seven (7) native trees and four (4) native shrubs located within the 25-foot setback area adjacent to Warren Wagon Road. McCall City Code Section 3.7.032(l) requires one (1) native tree and three (3) native shrubs per ten-feet (10') of street frontage along designated scenic routes. Prior to the issuance of a building permit, the applicant should provide a revised landscape plan showing fourteen (14) native trees and 42 native shrubs within the 25-foot setback area adjacent to Warren Wagon Road.

Comments

Agency –

McCall Public Works

In an email dated December 13, 2021, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR21-37** and have the following comments and concerns.

Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:

- a. Please address how the runoff from the patios at the east side of the home are being handled prior to it entering Payette Lake.
 - b. It appears that there is an infiltration trench proposed parallel to the lake, however, the preliminary grading does not show that the runoff from the swales will enter it. Adjusting the grading and extending the trench to the south may be needed to capture runoff from the front of the home.
 - c. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin areas, and appropriate hydrographs and calculations.
2. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
 3. Please identify proposed and existing utility service lines to the new home. Knowing where the utilities are located in the planning and design phase can help identify contradictions with plantings or other construction details prior to construction beginning.
 4. The applicant will obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated November 16, 2021.

Big Payette Lake Water Quality Council (BPLWQC)

In an email dated November 4, 2021, the BPLWQC had the following comments:

The proposed home is situated right at the edge of a steep slope down to Payette Lake. It appears they are planning a hardscape deck (pavers) which are discouraged. Hard surfaces such as pavers/boulders do not absorb stormwater runoff. This construction site needs to meet all standards of erosion control and erosion mitigating practices as laid down in the Lake-A-Syst document. There is ample instruction in the Lake-A-Syst packets to cover all aspects of responsible construction site erosion control methods and suggestions. Landscaping needs to be approved by the City of McCall with a strong emphasis on natural/native trees, grasses and plants that do the best job controlling erosion.

Public –

Email received on December 28, 2021, from Lori Laub requesting additional trees and screening and to ensure drainage is adequately managed.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. No building permit shall be issued prior to recordation of the record of survey associated with ROS-21-07.
3. Prior to the issuance of a building permit, the applicant shall provide a revised landscape plan showing fourteen (14) native trees and 42 native shrubs within the 25-foot setback area adjacent to Warren Wagon Road.
4. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

IN RE:)
)
BOTTLES RESIDENCE)
Design Review, Shoreline)
Environs Overlay Review, and)
Scenic Route Overlay Review)
)
Application Number:)
DR-21-37, SR-21-19, SH-21-13)

**McCALL AREA PLANNING AND ZONING COMMISSION
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
DECISION**

FINDINGS OF FACTS

Applicant: Mark Bottles

Representative: Jevon Truex

Application: An application for Design, Shoreline, and Scenic Route Review to construct a new, single-family residence totaling 7,181 sq. feet including a covered deck and attached 3-car garage.

Address: 1940 Warren Wagon Road

Location: Lot 6 of the Payette Lakes Cottage Sites, situated in Section 32, T19N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on December 16, 2021.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on December 17, 2021.

Posting: The Notice of Hearing was posted by the applicant on the subject property on December 19, 2021.

Zoning: R4 – Low Density Residential

Property Size: 1.26-acres (54,886 square-feet)

Setbacks:

	Proposed	Required
Front Setback	55-feet, 0-inches	Greater than 20-feet
Rear Setback	57-feet, 7-inches	Greater than 20-feet
Side Yard Setback 1	17-feet, 3-inches	Greater than 13-feet, 6-inches
Side Yard Setback 2	16-feet, 11-inches	Greater than 13-feet, 10-inches
Eave Height 1	23-feet, 0-inches	Less than 34-feet, 7-inches
Eave Height 2	15-feet, 6-inches	Less than 33-feet, 10-inches
Both Side Setbacks must add up to:	Greater than 35-feet, 0-inches	Greater than 35-feet, 0-inches
Lot Coverage (square-feet)	5,095 square-feet	Less than 10,310 square-feet
Lot Coverage (percent)	9.5%	Less than 18.8%
Snow Storage	1345 square-feet	Greater than 266 square-feet
Building Height	31-feet, 2-inches	Less than 35-feet
Structure Size	8,597 square-feet	Less than 10,000 square-feet

Parking Spaces: Provided: 2+ spaces

Required: 2 spaces per MCC 3.8.062

APPROVAL STANDARDS

MCC 3.7.02 Shoreline and River Environs Zone

No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. **The proposed development meets all applicable requirements of this title and title IX of this code.** The proposed site plan and structure meet the applicable requirements of MCC Title 3, Chapter 7, Chapter 8, and Title 9.
2. **The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard. The site plan indicates the Water Pool Shore Contour elevation.** The water pool contour line is indicated on the site plan.
3. **A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met.** It appears that a 404 permit will not be necessary although the City reserves the right to require this at a later date if it becomes necessary.
4. **The requirements of the underlying zone are met.** The proposed residence meet the requirements of the Shoreline Zone and R4-Low Density Residential Zone.
5. **The fifty-foot (50') building setback line is met per subsection (C)3(c) of this section.** The fifty foot (50') building setback for properties within the Shoreline and River Environs Zone is indicated on the submitted site plan. The proposed residence is located outside of this setback.
6. **Proof of stormwater certification training has been provided by the individual applying for the building permit.** Proof of stormwater certification is required prior to issuance of a building permit.
7. **The Commission determined whether the proposed development, improvement or use:**

- a. **Dominates the vistas of the water to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed residence is large but is consistent with other residences in the neighborhood.
- b. **Is compatible in form, line, color and texture with its surroundings.** The proposed residence is compatible in form, line, color and texture because it utilizes natural colors and materials and is designed similarly to other residences in the neighborhood.
- c. **Significantly differs in scale or contrast from its surroundings to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed residence meets the dimensional standards of the zone and is designed to minimize the difference between the site's topography and the built form. Therefore, the proposed residence does not differ in scale or contrast from its surroundings.
- d. **Creates a wall of structures as viewed from the water.** The proposed residence will be set back approximately 60-feet from the lake. The proposed residence is well landscaped from the lake and will not create the appearance of a wall of structures.

MCC 3.7.032 Scenic Route Requirements for Development

Scenic Route Zone

The Commission shall determine whether the proposed development, improvement, or use:

1. **The project preserves and enhances the scenic quality of the street or highway.**

The proposal will maintain the scenic quality of Warren Wagon Road by minimizing the impacts of existing vegetation, filling in between existing vegetation with native trees, and quality architectural design of the proposed residence.

2. **Is compatible (in terms of setback, bulk, height, design, finish materials, and signing with its immediate surroundings and the desired visual quality of the scenic route.**

Compatibility with the desired visual quality of the scenic route is provided by: (1) building setbacks that are more than the minimum requirements; (2) the proposed landscaping that will buffer views of the new structures; and (3) the compatible exterior building design, materials, and colors.

3. **Building Clustering** N/A
4. **Landscaping:** The applicant is providing landscaping adjacent to Warren Wagon Road in conformance with McCall City Code Section 3.7.032(I).

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence is approximately 60-feet from the lake, and therefore will preserve the natural features within the 50 ft. shoreline setback.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes along the lake.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize metal roofing.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the street facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The applicant has worked with the City Arborist to minimize the number of significant trees to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Warren Wagon Road. A driveway permit from Valley County Road and Bridge will be required.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A

10. **Landscaping And Buffering:** The proposed landscaping meets the requirements of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage has been identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed addition is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes balconies and porches.

8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall's Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are required to screen the site when viewed from Warren Wagon Road.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage has been identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** The applicant has worked with the City Arborist to preserve existing trees.

15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No historic residences are impacted by this application.
2. **Preserve human scale in residential character:** The proposed residence steps down with the topography of the site to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence uses less than the maximum allowable lot coverage and therefore provides adequate open space.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

In an email dated December 13, 2021, the City of McCall Staff Engineer had the following comments: The Public Works Department has reviewed the documents submitted for review for DR21-37 and have the following comments and concerns.

Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:

- a. Please address how the runoff from the patios at the east side of the home are being handled prior to it entering Payette Lake.
 - b. It appears that there is an infiltration trench proposed parallel to the lake, however, the preliminary grading does not show that the runoff from the swales will enter it. Adjusting the grading and extending the trench to the south may be needed to capture runoff from the front of the home.
 - c. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin areas, and appropriate hydrographs and calculations.
2. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
 3. Please identify proposed and existing utility service lines to the new home. Knowing where the utilities are located in the planning and design phase can help identify contradictions with plantings or other construction details prior to construction beginning.
 4. The applicant will obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated November 16, 2021.

Big Payette Lake Water Quality Council (BPLWQC)

In an email dated November 4, 2021, the BPLWQC had the following comments:

The proposed home is situated right at the edge of a steep slope down to Payette Lake. It appears they are planning a hardscape deck (pavers) which are discouraged. Hard surfaces such as pavers/boulders do not absorb stormwater runoff. This construction site needs to meet all standards of erosion control and erosion mitigating practices as laid down in the Lake-A-Syst document. There is ample instruction in the Lake-A-Syst packets to cover all aspects of responsible construction site erosion control methods and suggestions. Landscaping needs to be approved by the City of McCall with a strong emphasis on natural/native trees, grasses and plants that do the best job controlling erosion.

Public –

Email received on December 28, 2021, from Lori Laub requesting additional trees and screening and to ensure drainage is adequately managed.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the January 4, 2021 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. No building permit shall be issued prior to recordation of the record of survey associated with ROS-21-07.

3. Prior to the issuance of a building permit, the applicant shall provide a revised landscape plan showing fourteen (14) native trees and 42 native shrubs within the 25-foot setback area adjacent to Warren Wagon Road.
4. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 4th day of JANUARY, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received: _____

Fees Paid: _____

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # 475.00 Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # 300.00 Scenic Route (SR) - \$300
- # 300.00 Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: MARK BOTTLES

Email: _____

Mailing Address: _____

Phone: _____

Property Owner 2 (if Applicable): GERI BOTTLES

Email: _____

Mailing Address: SAME

Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: JEVON TRUEX

Email: JEVON@JTRUEXARCHITECTURE.COM

Mailing Address: 8403 SPRING CREEK WAY, MIDDLETOWN, ID. 83644

Phone: 208-634-9810

PROPERTY INFORMATION

Address(es) of Property: 1940 WALKER WAGON RD. McCall ID.

Legal Description of Property: LOT 3 IN SECTION 32 T19N, R3E, B.M., VALLEY COUNTY

Zoning District of Property: R4

Project Sq. Footage (if Applicable): 5,612 SF. LIVING 1569 SF. GAR/MECH

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

CONSTRUCTION OF A NEW RESIDENCE

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

Mark Bottles

Property Owner 1

Geri Bottles

Property Owner 2 (if Applicable)

JASON TRUX

Agent/Authorized Representative

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.



October 26, 2021

Design Review - Bottles

Project Description

This project is located at 1940 Warren Wagon Rd. McCall. This will be a private single family residence sitting on a south west facing late lot. This property has been owned by the Bottles family for quite some time and they would like to build a new home to enjoy.

This new residence will be a two level light frame constructed home with some steel beam and column elements. The home will consist of 5,612 sf. Of living space (3,003 sf. On the main level and 2,609 sf. On the lower level). There will be an attached 3 car garage consisting of 1,243 sf. The project covers (based on city of McCall lot coverage formula) a total of 6,184 sf. Of the allowed 6,339 sf. The building is well behind the 50' setback. The closest portion of the deck sits over 6' behind the setback with the majority of the structure well behind and further back from the setback. The primary roof slope will be 2:12 and as shown on the elevations, the building height is several feet below the 35' height limit. The shallower roof pitch helps minimize the impact of the facade height.

The materials used on the home will be of excellent quality. Siding materials will be of veneer stone, vertical and horizontal reclaimed wood siding. The roofing will be a standing seam metal with snow fences to hold snow on roofs. With the required setbacks and the snow fences, no snow will fall on neighboring properties. There will be an expression of the structural elements consisting of large sawn wood beams mixed with wide flange steel beams and columns.

Colors as shown in the renderings will be earth tone as desired by the McCall Design Guidelines. Landscaping will be kept natural with some more developed areas and lawn areas. The vast majority of the existing trees on site will be maintained and protected. This "Mountain Modern" styled home will be a beautiful addition to the McCall community and to the shoreline of Payette lake.





Site Photos

View from building site looking south east.



J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
Jevon@jtruexarchitecture.com

J Truex Architecture



View from front of proposed project, approximately at the 50' setback looking south east.



J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
Jevon@jtruexarchitecture.com

View from building site looking north west.





View from building site looking north east.



J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
levon@truexarchitecture.com

View from building site looking south west.



J Truex Architecture



October 26, 2021

Project Materials/Colors - Bottles

Metal roofing - Imetco standing seam aluminum roofing. - Matte Black

J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
Jevon@jtruexarchitecture.com



Soffit & Wood beams Cabots Beige



J Truex Architecture



Steel beams, columns, metal fascia, Windows/doors, metal garage doors - black



J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
levon@truexarchitecture.com

Reclaimed horizontal and vertical siding - natural grey & brown colors



J Truex Architecture



Stone veneer - Thin cut Montana Moss



J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
Jevon@truexarchitecture.com

J Truex Architecture



Wall sconces - Dark sky compliant - Generation Lighting Mattix 37"
LED Outdoor sconce.

J Truex Architecture
8403 Spring Creek
Middleton, Id. 83644
C 208-634-9810
O 208-392-1219
Jevon@truexarchitecture.com



GENERATION LIGHTING

OL11603ORB-LED: Large LED Sconce



Dimensions:

Length: 36 1/2"
 Width: 6"
 Height: 7"
 Weight: 13 lbs.

Extends: 3 1/2"

Wire: 8"

Mounting Proc.: Universal
 Mounting Plate

Connection: Mounted To Box

Bulb Type: Array

Bulb Base: Integrated

Volts: 120

Watts: 60

Watts Consumed: 60

Watts Rated: 60

Hours Rated: 50000

Lumens: 5400

Bulb Temp: 2700 °K

CRI: 90

Collection: Mattix

Featured in the decorative Mattix collection

1 Array Integrated 60 watt light bulb

Fixture is supplied with 1 light bulb

Meets American with Disabilities Act standard extension requirements

This advanced LED technology is carefully designed and selected to consist of the highest quality LED chipsets for superior performance and reliability.

UPC #:014817565751

Finish: Oil Rubbed Bronze (ORB)

Bulbs:

1 - LED Integrated Array 60w 120v - included

Features:

- Meets American with Disabilities Act standard extension requirements
- This advanced LED technology is carefully designed and selected to consist of the highest quality LED chipsets for superior performance and reliability.

Material List:

1 Body - Cast Aluminum - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French)
 (OL11601_OL11602_OL11603-LED)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	24 3/4	5 3/4	1			18 1/8

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	OL11603ORB-LED	1	014817565751	42	10	7.5	1.823	18.5	93	Yes
NJ Pallet		42		48	40	73	81.111	785.4		No
NV Pallet		35		48	40	73	81.111	654.5		No

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: Bottles Residence
Location: 1940 Warren Wagon Road McCall, Idaho, 83638

2. Owner's Name: Mark and Geri Bottles
Street: 1940 Warren Wagon Road City: McCall
State: ID Zip Code: 83638 Phone: (208) 866-2222

3. Project Description: The proposed project site consists of the demolition of the existing home, concrete driveway, and construction of a new home with asphalt driveway.


- a. Total property area, in acres. 0.65 Acres
- b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. Approximately 0.20 acres (8,586.1 S.F.) of impervious surface area at build out. Currently there is 0.18 acres (7,755.5 S.F.).
- c. Describe existing vegetation present on site. The site currently contains some coniferous and deciduous trees as well as a large landscaped area with rock retaining walls.
- d. Start date of construction. Summer/Fall 2022
- e. Estimated length of time to complete improvements. 6-12 Months

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.

A B C D E F

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Mark Bottles</u>	<u>Owner</u>		<u>8-4-21</u>
Name	Title	Signature	Date
<u>1940 Warren Wagon Road</u>		<u>(208) 866-2222</u>	
Address		Daytime Phone	After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

_____	_____	_____	_____
Representative	Title	Signature	Date



CRESTLINE ENGINEERS, INC.
 CIVIL ENGINEERING CONSULTANTS
 323 DEINHARD LANE, SUITE C
 PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 · 208.634-4146 FAX

PROJECT: Bottles Residence

CLIENT: J Truex Architecture

JOB NO.: 21031 **DATE:** October 22, 2021

BY: AMD

REVISION DATE: _____

RE: Bottles Residence - Stormwater Calculations

Drainage Area Calculations

Drainage Areas	(ft²)	(Acres)
Total Property Area/Boundary	28,174.9	0.65
Development Area	28,174.9	0.65

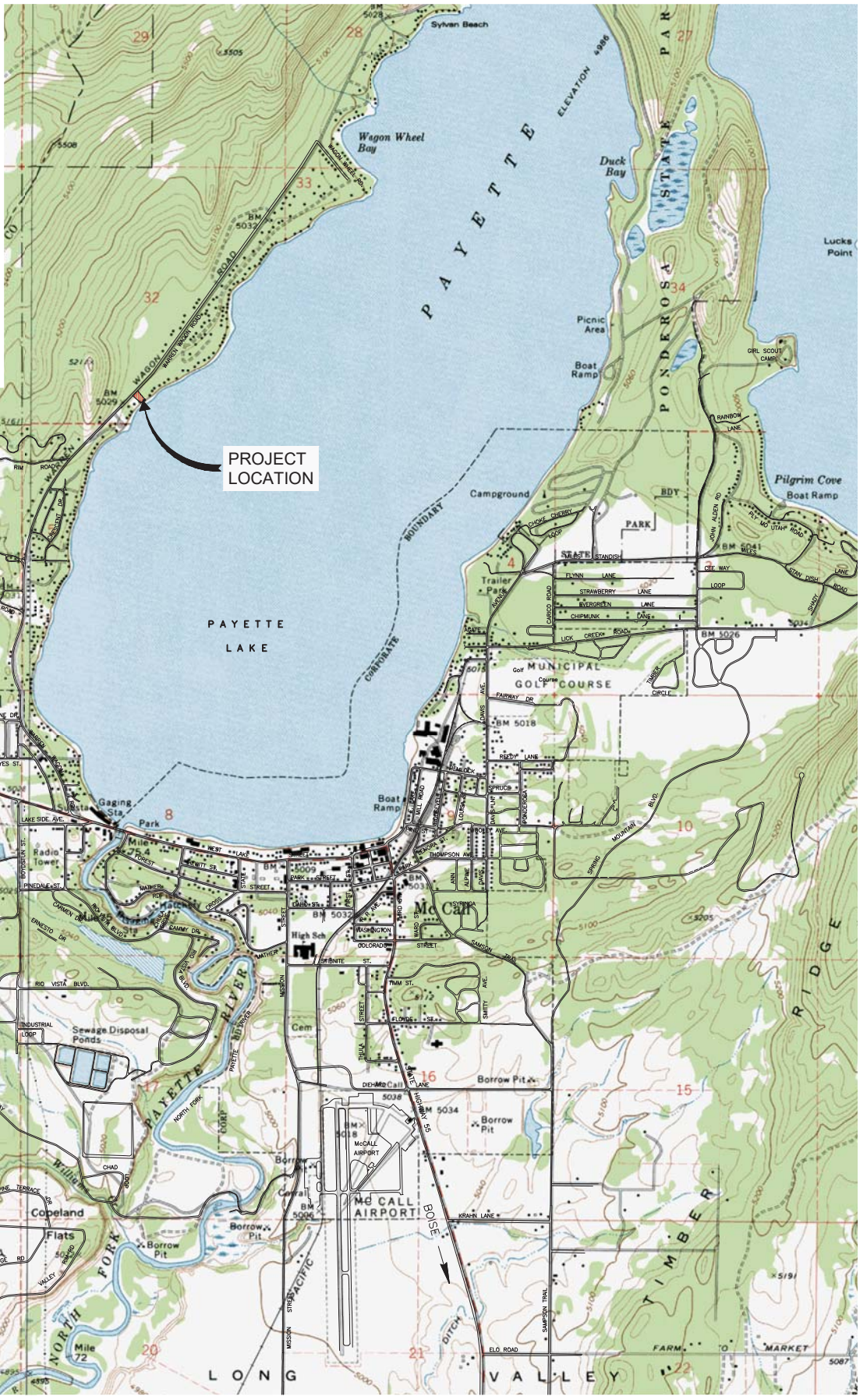
Pre-Development: Development Area Surfaces	(ft²)	(Acres)	(%)
Building Roofs (CN = 98)	4,446.4	0.10	15.78%
Concrete Driveway (CN = 98)	3,309.4	0.08	11.75%
Open Space (CN = 79)	20,419.1	0.47	72.47%
	28,174.9	0.65	100.00%
Total Impervious Surface Area =	7,755.8	0.18	27.53%

Post Development: Development Area Surfaces (At Build-out)	(ft²)	(Acres)	(%)
Building Roofs (CN = 98)	6,245.3	0.14	22.17%
Asphalt Driveway (CN = 98)	2,340.8	0.06	8.31%
Paver Patios (CN = 89)	966.2	0.02	3.43%
Wood Deck (CN = 89)	138.7	0.00	0.49%
Open Space (CN = 79)	18,483.9	0.43	65.60%
	28,174.9	0.65	100.00%
Total Impervious Surface Area =	8,586.1	0.20	30.47%

Drainage Area Flow Paths

	Length	Elevation Change	Slope
Pre-Development Flow Path:	(ft)	(ft)	(%)
1. Sheet Flow (n = 0.011, Smooth Surface - Concrete)	76.9	5.9	7.62%
2. Sheet Flow (n = 0.24, Grass - Dense Grasses)	19.8	0.4	2.02%
3. Sheet Flow (n = 0.011, Smooth Surface - Concrete)	6.0	0.1	0.84%
4. Sheet Flow (n = 0.24, Grass - Dense Grasses)	139.2	6.9	4.99%
5. Sheet Flow (n = 0.24, Grass - Dense Grasses)	46.0	17.3	37.72%
Total Length/Average Slope =	287.9	30.6	10.63%

	Length	Elevation Change	Slope
Post Development Flow Path:	(ft)	(ft)	(%)
1. Sheet Flow (n = 0.011, Smooth Surface - Asphalt)	27.6	3.0	10.87%
2. Channel Flow (n = 0.24, Grass - Dense Grass)	31.5	2.8	8.73%
3. Channel Flow (n = 0.24, Grass - Dense Grass)	126.8	20.8	16.36%
Total Length/Average Slope =	185.9	26.5	14.25%



NORTH
SCALE: 1" = 3000'

CRESTLINE ENGINEERS

323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

BOTTLES RESIDENCE VICINITY MAP

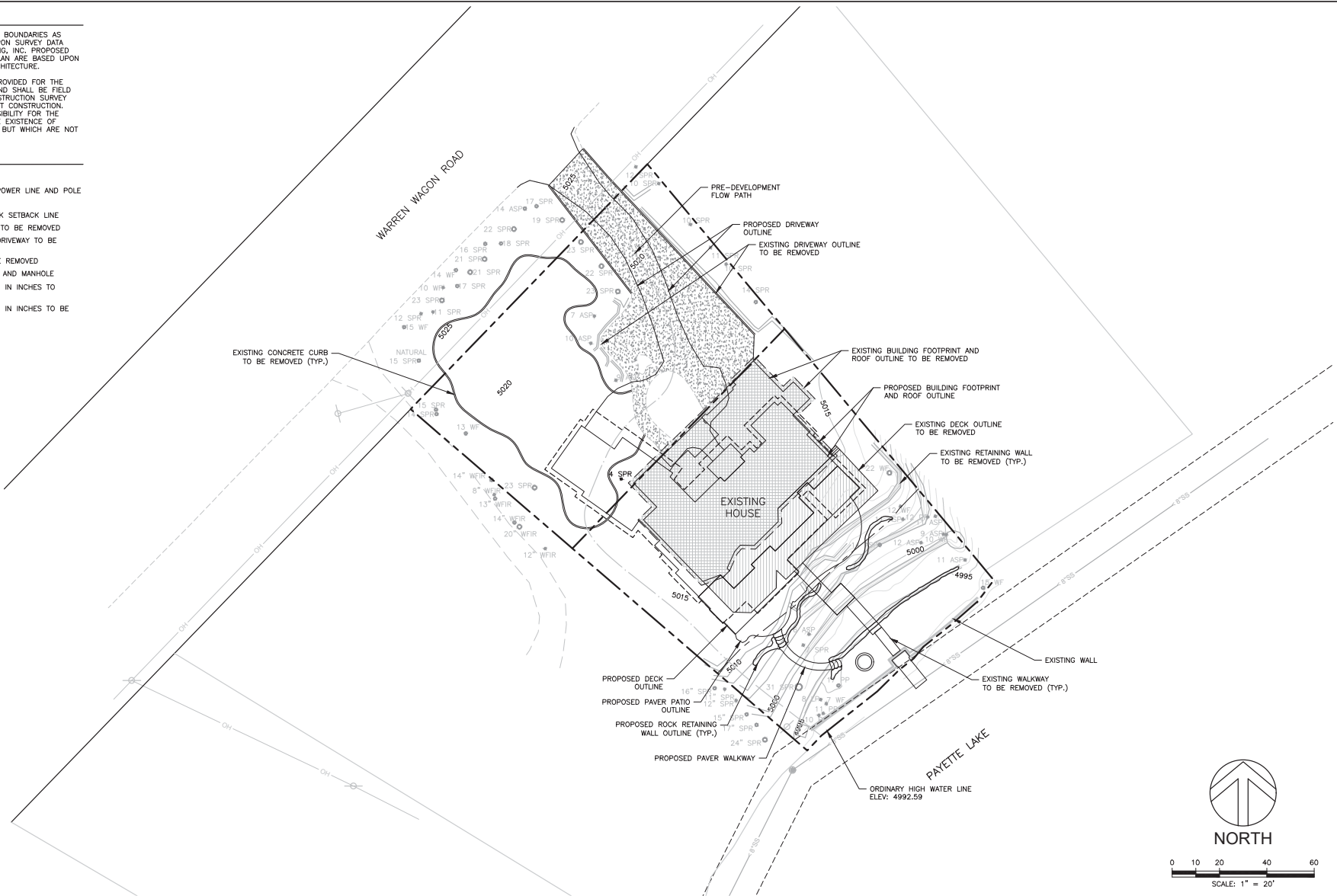
PROJECT	21031	DRAWN	FIGURE NO.
DATE	10/22/2021	SMR	1 OF 1

NOTES:

- EXISTING TOPOGRAPHY AND PROPERTY BOUNDARIES AS SHOWN ON THIS PLAN ARE BASED UPON SURVEY DATA PROVIDED BY SKIFTUN LAND SURVEYING, INC. PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN ARE BASED UPON DRAWINGS PROVIDED BY J TRUAX ARCHITECTURE.
- THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE EXISTENCE OF OBJECTS OR UTILITIES ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

LEGEND:

- PROPERTY BOUNDARY
- OH — EXISTING OVERHEAD POWER LINE AND POLE
- 5020 — EXISTING CONTOUR
- 50' HIGH WATER MARK SETBACK LINE
- ▨ EXISTING ROOF AREA TO BE REMOVED
- ▨ EXISTING CONCRETE DRIVEWAY TO BE REMOVED
- ▨ EXISTING DECK TO BE REMOVED
- 8"SS — EXISTING SEWER LINE AND MANHOLE
- 13 WF — EXISTING TREE W/DIA. IN INCHES TO REMAIN
- 4 SPR — EXISTING TREE W/DIA. IN INCHES TO BE REMOVED



Path: M:\0118\Bottles\121021\DWG\DWG2021031_PrelimSitePlan.dwg File Name: 21031_PrelimSitePlan.dwg Pkg Date: 10/22/2021 10:06AM Created:

NO.	REVISION	BY	DATE	DESIGN
				AMD
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT


CRESTLINE
 ENGINEERS
 323 DEINHARD LANE, SUITE C · PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 · 208.634.4146 FAX

BOTTLES RESIDENCE
 McCALL, IDAHO
 EXISTING CONDITIONS WITH PRELIMINARY SITE PLAN

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING 1"	
PROJECT	21031
DATE	10/22/2021
DRAWING NO.	SHEET NO.
C-1	1 OF 2

NOTES:

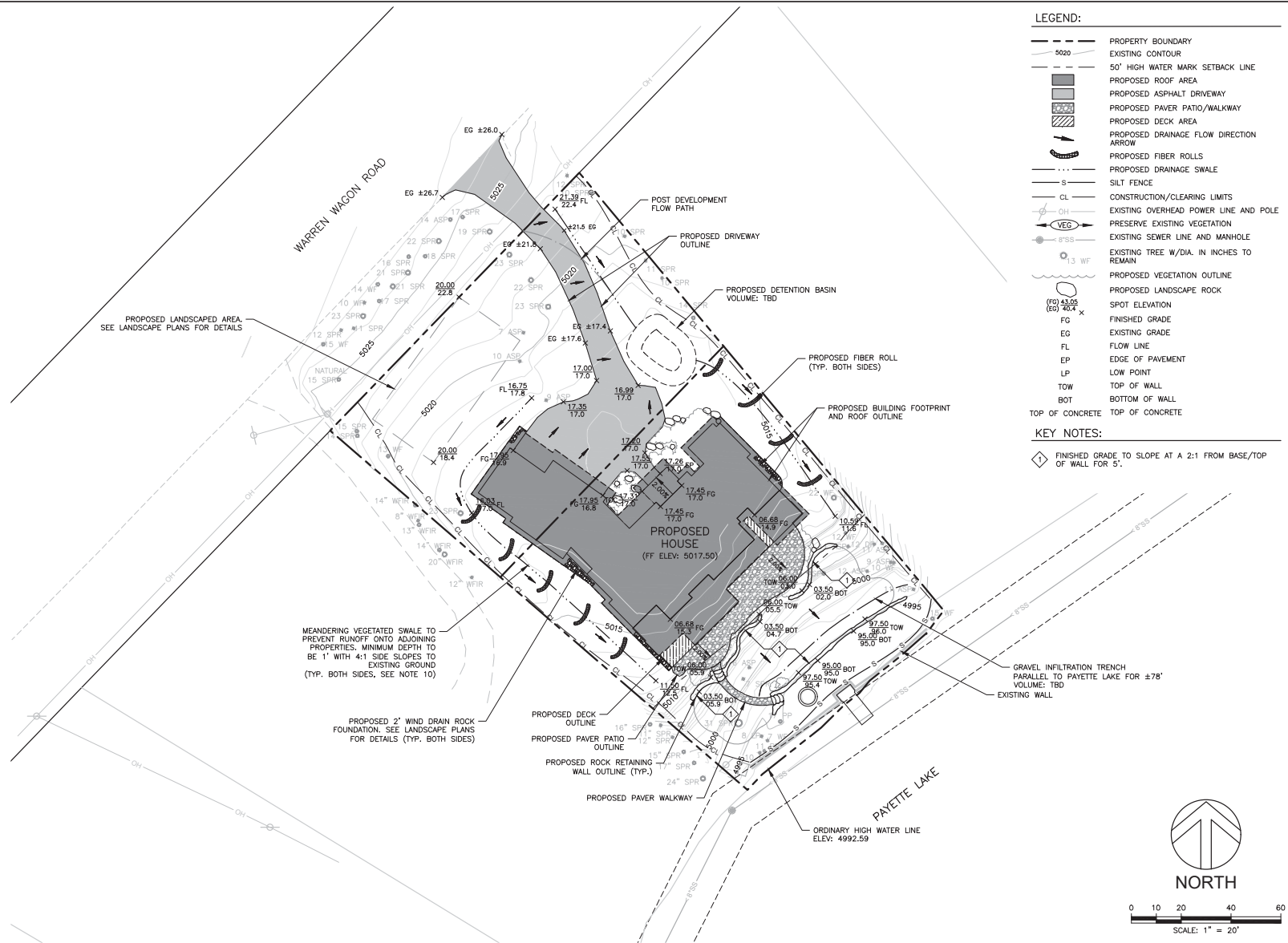
- REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
- THE OWNER AND/OR THE SELECTED CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND APPROVED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AFTER THE PROJECT IS APPROVED.
- WATTLES MAY BE USED IN PLACE OF SILT FENCE WHERE DETERMINED APPROPRIATE. SILT FENCE HAS BEEN SHOWN ON THE PROPERTY LINES IN SOME AREAS TO PREVENT ENCROACHMENT ONTO NEIGHBORING PROPERTIES.
- WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS AT ALL TIMES.
- STAGING AREA(S) TO BE LOCATED BY CONTRACTOR WITH PORTABLE TOILETS, GARBAGE RECEPTACLES, CONCRETE WASHOUT, AND ALL OTHER CONTRACTOR FACILITIES.
- ALL SITE GRADING ADJACENT TO THE NEW STRUCTURES SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS.
- DRIVEWAY GRADES SHALL BE SLOPED AWAY FROM THE GARAGE AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6% FOR A DISTANCE OF NO LESS THAN TEN (10) FEET. GRADING OF THE DRIVEWAY SHALL BE IN ACCORDANCE WITH THE DIRECTION OF THE DRAINAGE FLOW DIRECTION ARROWS AS SPECIFIED IN THE STORMWATER MANAGEMENT PLAN.
- AREAS BETWEEN NEW STRUCTURES AND PROPERTY BOUNDARIES SHALL BE SLOPED TO INSURE RUNOFF IS KEPT ON-SITE. SWALES SHALL BE CONSTRUCTED ADJACENT TO/NEAR SIDE PROPERTY LINES TO PREVENT RUNOFF FROM FLOWING ONTO ADJOINING PROPERTIES. THESE SWALES ARE INTENDED TO BE FIELD FIT AND MEANDERED AROUND EXISTING VEGETATION AND SITE FEATURES AS NECESSARY.
- REVEGETATION AND STABILIZATION OF ALL DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECTS LANDSCAPE DESIGN. IF A LANDSCAPE DESIGN/PLAN IS NOT AVAILABLE, DISTURBED AREAS SHALL BE REVEGETATED WITH A GRASS MIXTURE NATIVE TO THAT AREA.

LEGEND:

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- 50' HIGH WATER MARK SETBACK LINE
- PROPOSED ROOF AREA
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED PAVER PATIO/WALKWAY
- PROPOSED DECK AREA
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED FIBER ROLLS
- PROPOSED DRAINAGE SWALE
- SILT FENCE
- CONSTRUCTION/CLEARING LIMITS
- EXISTING OVERHEAD POWER LINE AND POLE
- PRESERVE EXISTING VEGETATION
- EXISTING SEWER LINE AND MANHOLE
- EXISTING TREE W/DIA. IN INCHES TO REMAIN
- PROPOSED VEGETATION OUTLINE
- PROPOSED LANDSCAPE ROCK
- SPOT ELEVATION
- FINISHED GRADE
- EXISTING GRADE
- FLOW LINE
- EDGE OF PAVEMENT
- LOW POINT
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF CONCRETE

KEY NOTES:

- FINISHED GRADE TO SLOPE AT A 2:1 FROM BASE/TOP OF WALL FOR 5'.



PLAN: M:\21031\BOTTLES\21031-01\DWG\21031-01_PrelimStormwaterManagement.dwg File Name: 21031_PrelimStormwaterManagement.dwg PLS Date: 10/22/2021 10:05:46 AM Created:

NO.	REVISION	BY	DATE	DESIGN
				AMD
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				GTT

CRESTLINE
ENGINEERS
 323 DEINHARD LANE, SUITE C - PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 · 208.634.4146 FAX

BOTTLES RESIDENCE
McCALL, IDAHO
 PRELIMINARY GRADING, DRAINAGE AND
 STORMWATER MANAGEMENT PLAN



0 10 20 40 60
 SCALE: 1" = 20'

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING 1"	
PROJECT	21031
DATE	10/22/2021
DRAWING NO.	SHEET NO.
C-2	2 OF 2

BOTTLES RESIDENCE

ABBREVIATIONS

AB	Anchor Bolts	MAS	Masonry
A/C	Air Conditioner	MAX	Maximum
BLKG	Blocking	MFGR	Manufacturer
		MIN	Minimum
		MTL	Metal
CAB	Cabinet		
CAS	Casement Window	NIC	Not In Contract
CJ	Control Joint	NTS	Not To Scale
CEIL	Ceiling		
CONC	Concrete	OC	On Center
CONT	Continuous		
COL	Column	PL	Plate
		PR	Pair
D	Dryer	PSF	Per Square Foot
DBL RVS	Double Rod & Shelf	PT	Pressure Treated
DIA	Diameter		
DIAG	Diagonal	R	Riser
DISP	Disposal	RAD	Radius
DR	Drawer	REINF	Reinforcing
DTL	Detail	RS	Rough Sawn
DW	Dish Washer	REQ	Required
		RO	Rough Opening
EA	Each		
ELE	Elevation	SECT	Section
EQ	Equal	SF	Square Foot
EXT	Exterior	SH	Single Hung Window
EW	Each Way	SS	Stainless Steel
		STD	Standard
FIX	Fixed Window	SW	Shear Wall
FD	Floor Drain		
FF	Finish Floor	T	Tread
FND	Foundation	T&B	Top & Bottom
FOC	Face of Concrete	TEMP	Tempered glass
FOM	Face of Masonry	T&G	Tongue & Groove
FOS	Face of Stud	TOC	Top of Concrete
FTG	Footing	TOM	Top of Masonry
		TOF	Top of Footing
GA	Gauge	TOP	Top of Pier
GALV	Galvanized	TOS	Top of Slab
GYP	Gypsum	TOW	Top of Wall
		TV	Television
HD	Hold Down Anchor		
HDR	Header	UNO	Unless Noted Otherwise
HORIZ	Horizontal		
HT	Height	VERT	Vertical
HVAC	Heating, Venting & Air Conditioning	VIF	Verify In Field
HB	Hose Bib	W	Washer
		WH	Water Heater
INSUL	Insulation		
INT	Interior		
LAND	Landing		
LAV	Lavatory		
LF	Lineal Foot/Feet		



INDEX OF SHEETS

Architectural

- A0 Cover Sheet
- A1 Site Plan
- A2 Elevations
- A3 Elevations
- A4 Main Floor Plan
- A5 Lower Floor Plan
- A6 Building Sections
- A7 Building Sections
- A8 Wall Sections
- A9 Wall Sections
- A10 Window & Door Schedule
- A11 Main Reflected Ceiling Plan
- A12 Lower Reflected Ceiling Plan
- E1 Main Electrical Plan
- E2 Upper Electrical Plan

Landscape

- L1.1 Tree Protection Plan
- L1.2 Landscape Plan
- L1.3 Landscape Details

Structural

- S0.00 General Structural Notes
- S0.10 Typical Details
- S0.11 Typical Steel Details
- S0.12 Typical Shear Details
- S0.13 Typical Wood Details
- S1.00 Foundation Plan
- S1.01 Upper Floor Framing Plan
- S1.02 Roof Framing Plan
- S2.00 Roof Framing Plan
- S2.10 Wood Framing Details
- S2.11 Wood Framing Details

Interiors

TBD



J Truex Architecture

8403 Spring Creek Way Middleton, Id. 83644
Phone: 208-634-9810
jtruexarchitecture.com

Drawn by: JT
Approved by: JT
Date: 10/21/21
Scale:

Copyright 2021 J Truex Architecture. The use of this document and these design drawings herein are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
Payette Lake Cottage Sites Lot 6
1940 Warren Wagon Rd.
McCall, Id.

Construction Drawings

Cover Sheet

PROJECT DIRECTORY

OWNER

Mark & Geri Bottles
839 S. Bridgeway Pl.
Eagle, Id. 83616
(208) 866-2222

ARCHITECT

J Truex Architecture
Jevon Truex
8403 Spring Creek Way
Middleton, Id. 83644
(208) 634-9810

INTERIORS

TBD

STRUCTURAL

Riverstone Structural
671 E. Riverpark Ln. #150
Boise, Id. 83706
(208) 343-2092

LANDSCAPE

Chuck Edwards
(208) 841-5416

CONTRACTOR

TBD



PROJECT DATA

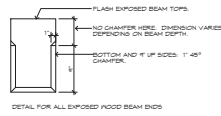
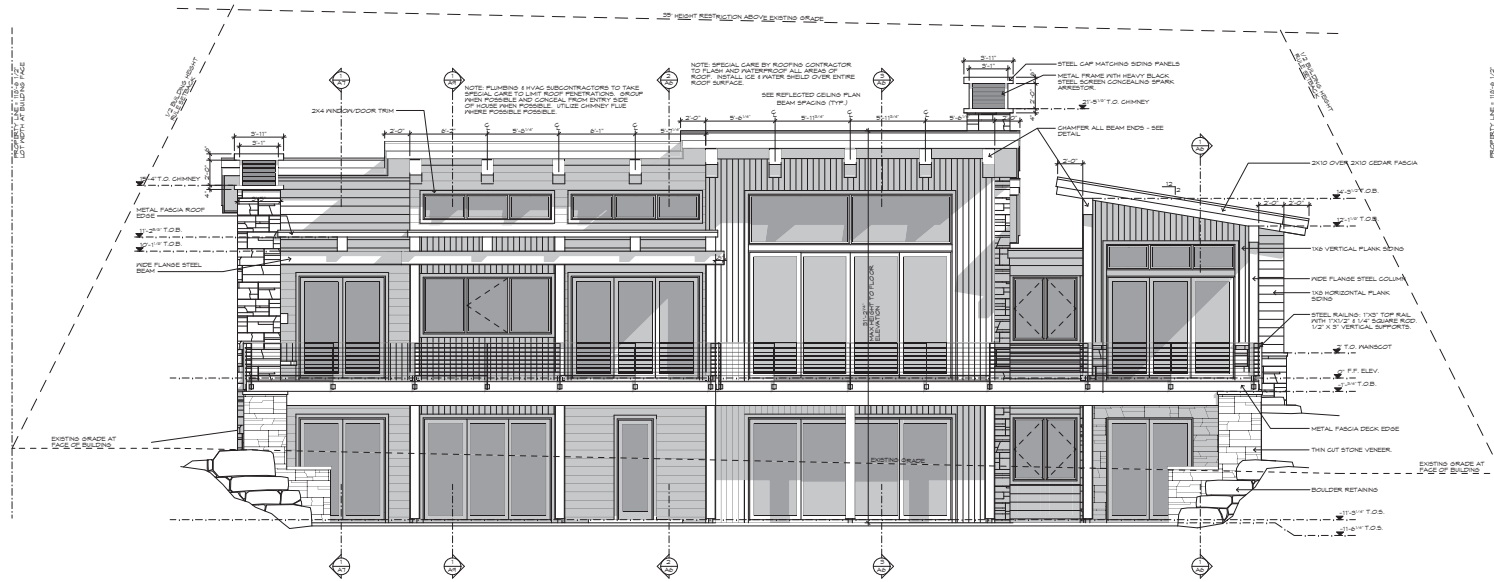
CODE INFORMATION:

Design Code: 2018 IRC
Occupancy: R-3
Construction Type: V-B

Revisions

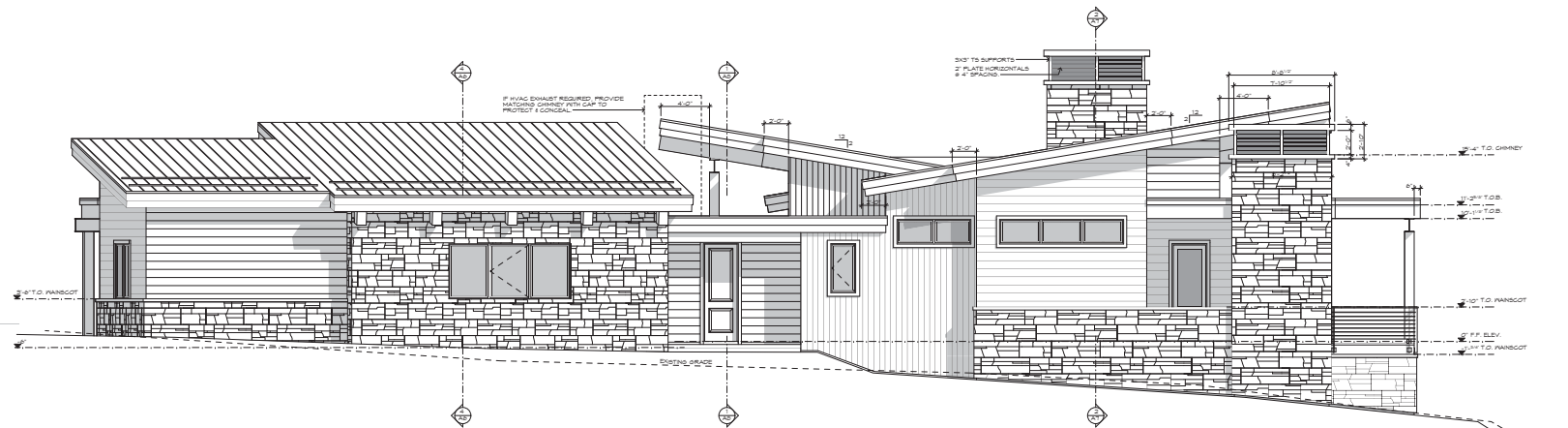
Sheet number

A0



EAST ELEVATION

1/2" = 1'-0"



SOUTH ELEVATION

1/2" = 1'-0"



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

© Copyright 2021 J Truex Architecture. The use of this document and these drawings/revision notes are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

Construction Drawings
 Exterior Elevations

Revisions

Sheet number
A2



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

© Copyright 2021 J Truex Architecture. The use of this document and these design drawings herein are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted by the full extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

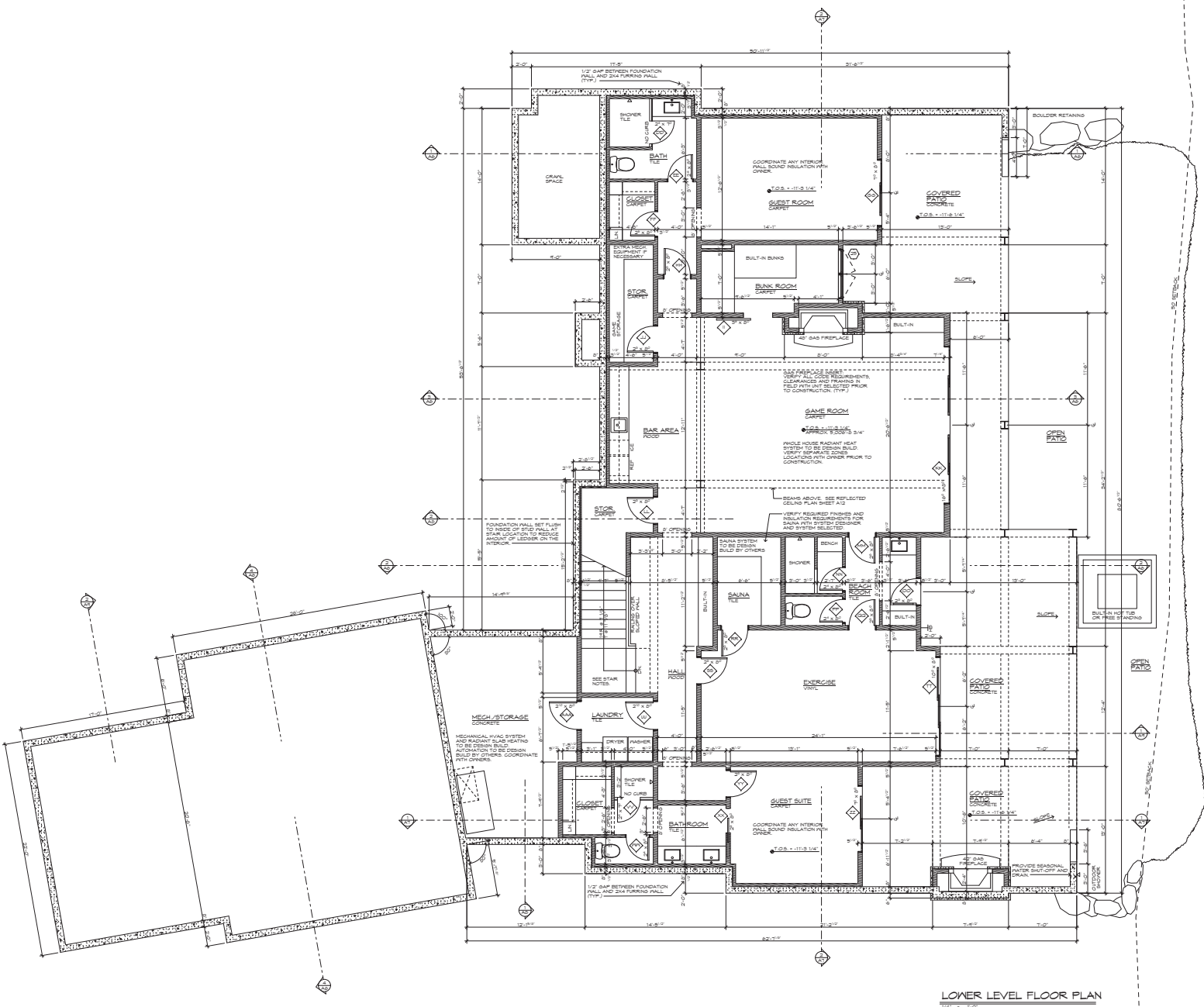
Construction Drawings

Lower Level Floor Plan

Revisions

Sheet number

A5



LOWER LEVEL FLOOR PLAN
 10/21/21



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

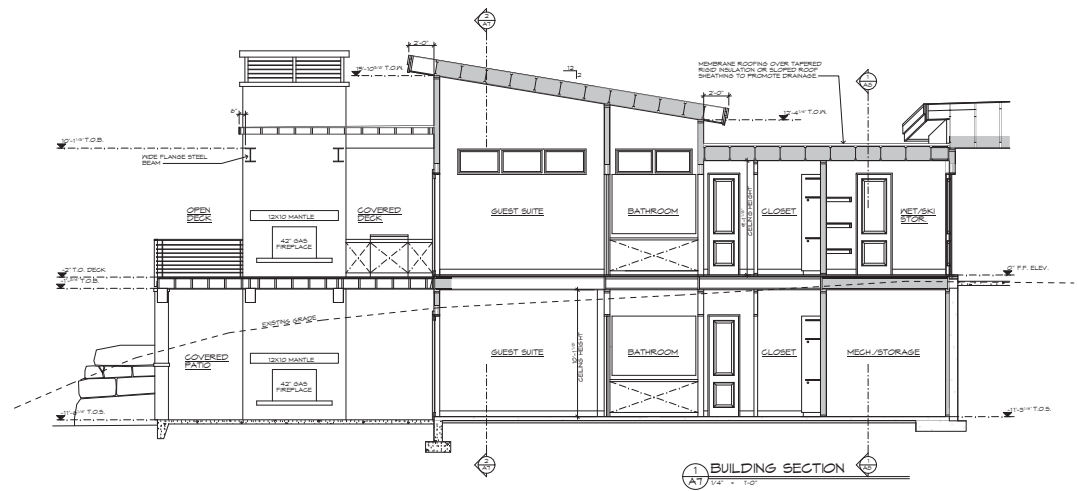
Copyright 2021 J Truex Architecture. The use of this document and these architectural features are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

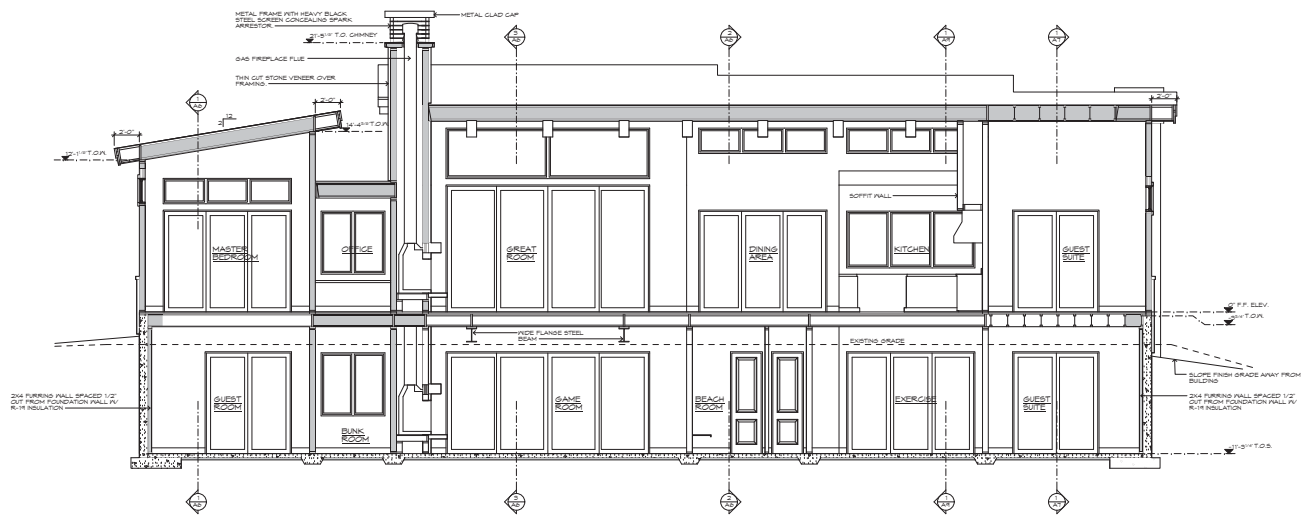
Construction Drawings
Building Sections

Revisions

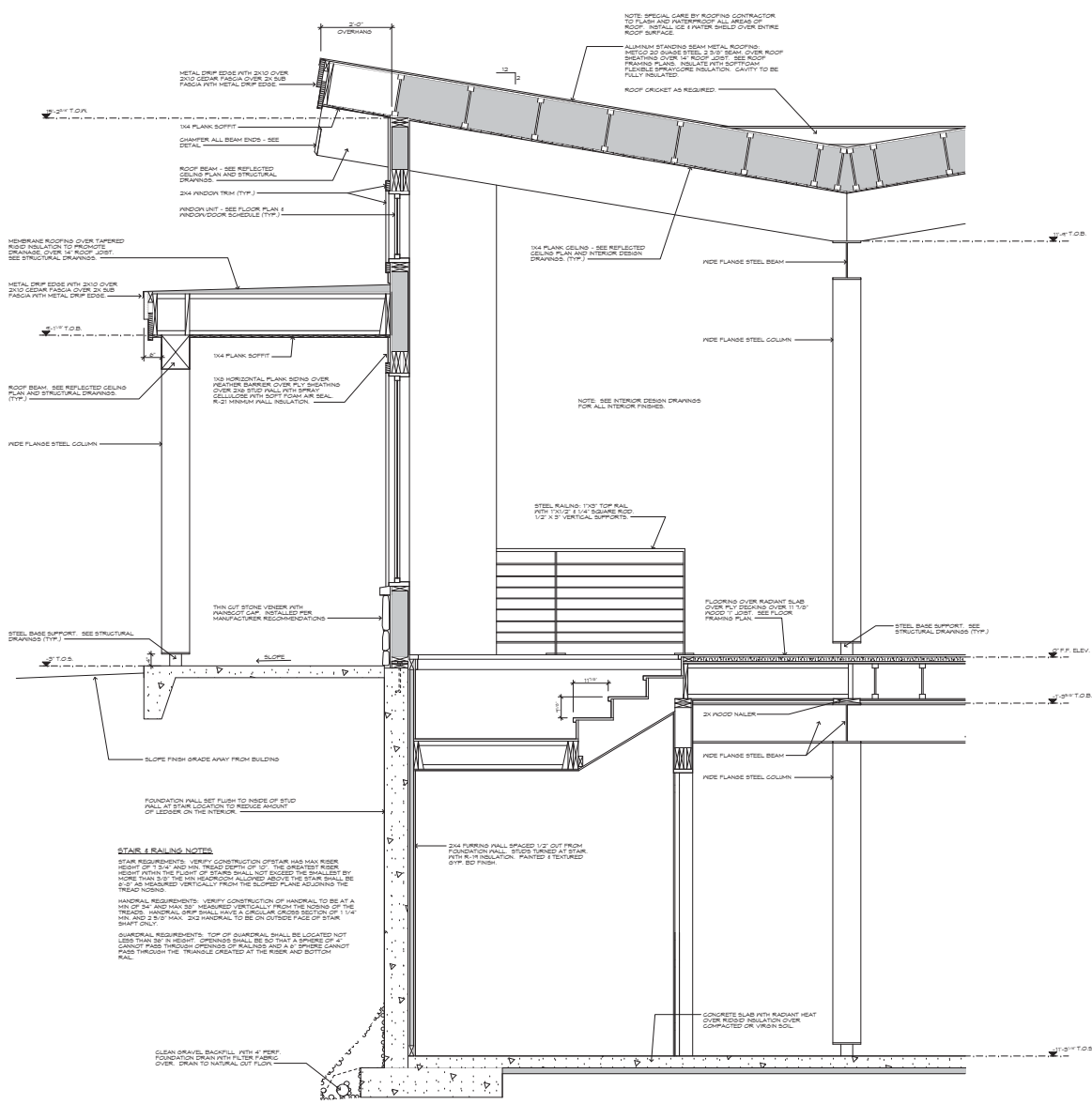
Sheet number
A7



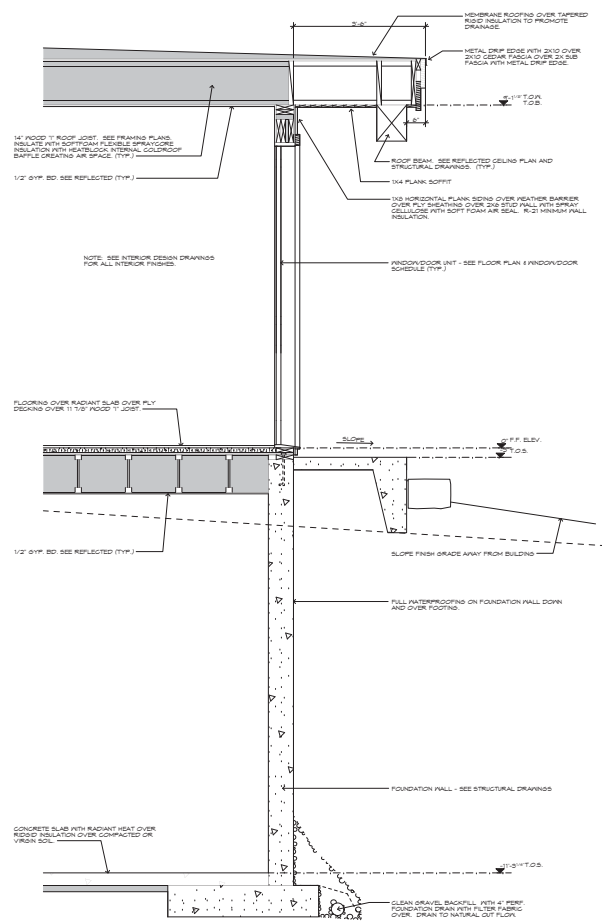
1 BUILDING SECTION
 1/4" = 1'-0"



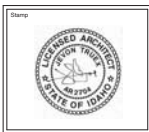
2 BUILDING SECTION
 1/4" = 1'-0"



2 WALL SECTION
A5 3/4 x 1-0



1 WALL SECTION
A5 3/4 x 1-0



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

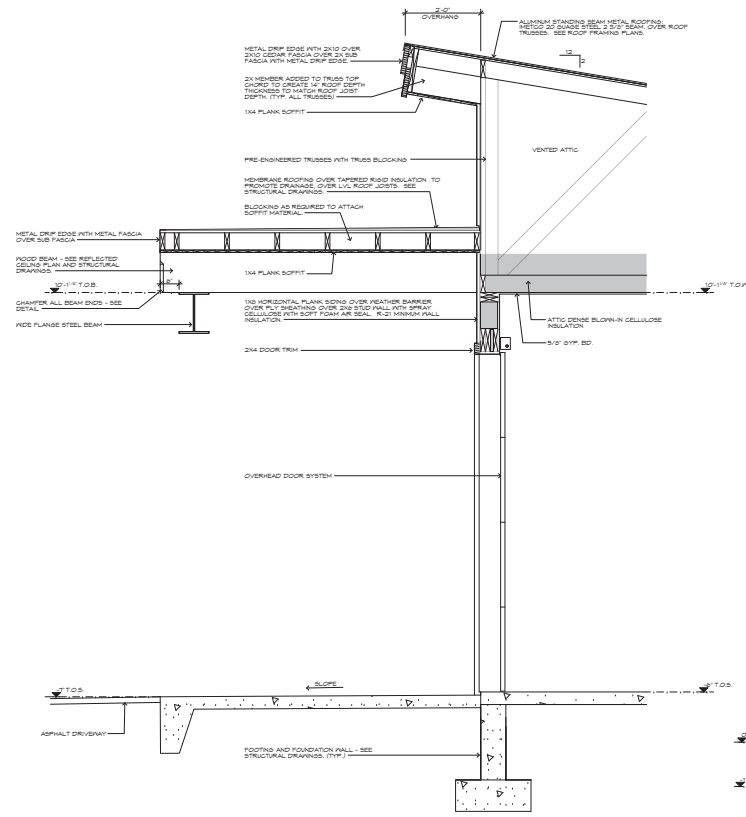
© Copyright 2021 J Truex Architecture. The use of this document and these design drawings herein are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted by the full extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

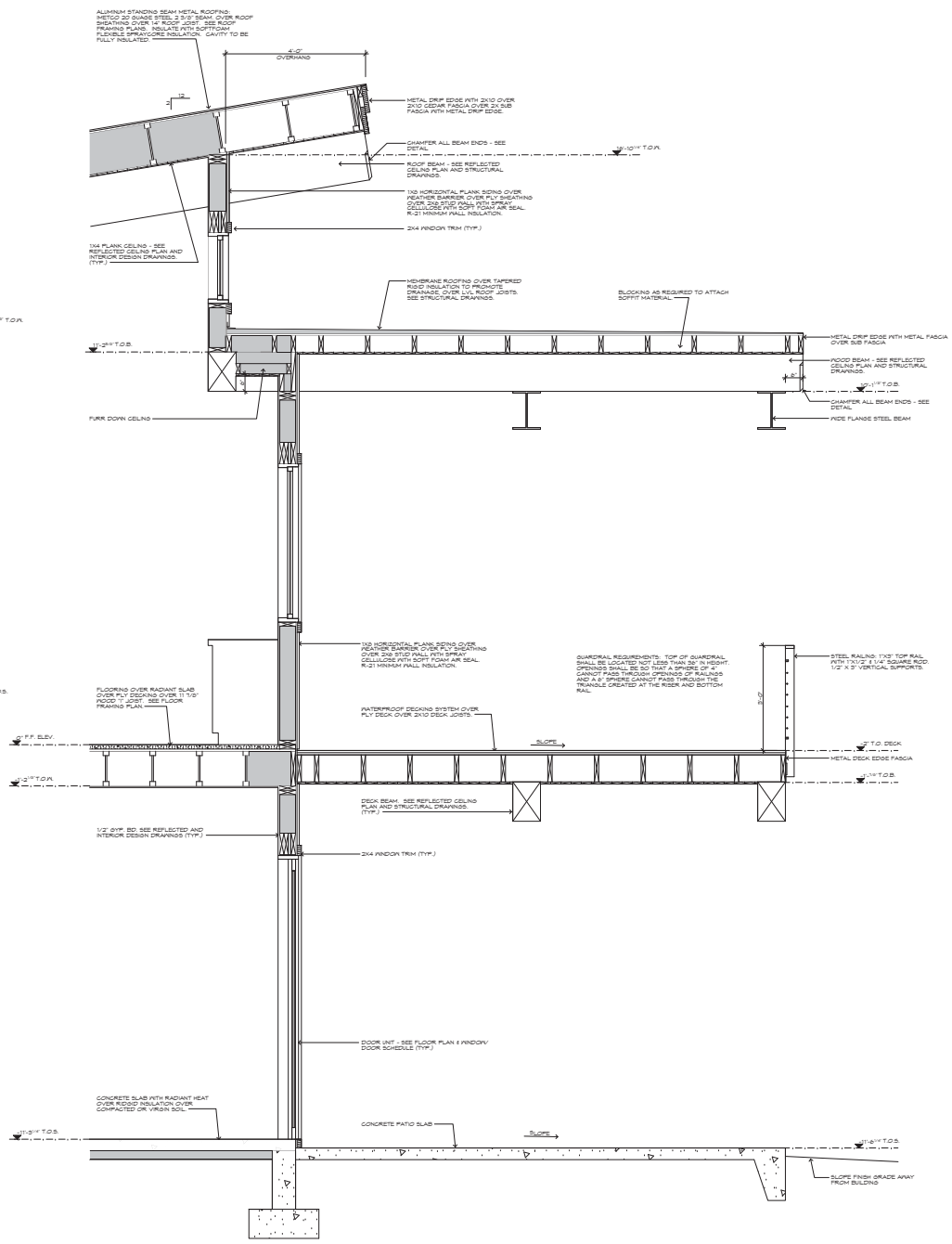
Construction Drawings
Wall Sections

Revisions

Sheet number
A8



2 WALL SECTION
A9
3/4" = 1'-0"



1 WALL SECTION
A9
3/4" = 1'-0"



J Truex Architecture
8403 Spring Creek Way Middleton, Id. 83644
Phone: 208-634-9810
jtruexarchitecture.com

Drawn by: JT
Approved by: JT
Date: 10/21/21
Scale:

Copyright 2021 J Truex Architecture. The use of this document and these drawings without written consent are strictly prohibited by US copyright law. This document and design may not be copied, reproduced, or otherwise used without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
Payette Lake Cottage Sites Lot 6
1940 Warren Wagon Rd.
McCall, Id.

Construction Drawings
Wall Sections

Revisions:
Sheet number: **A9**



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

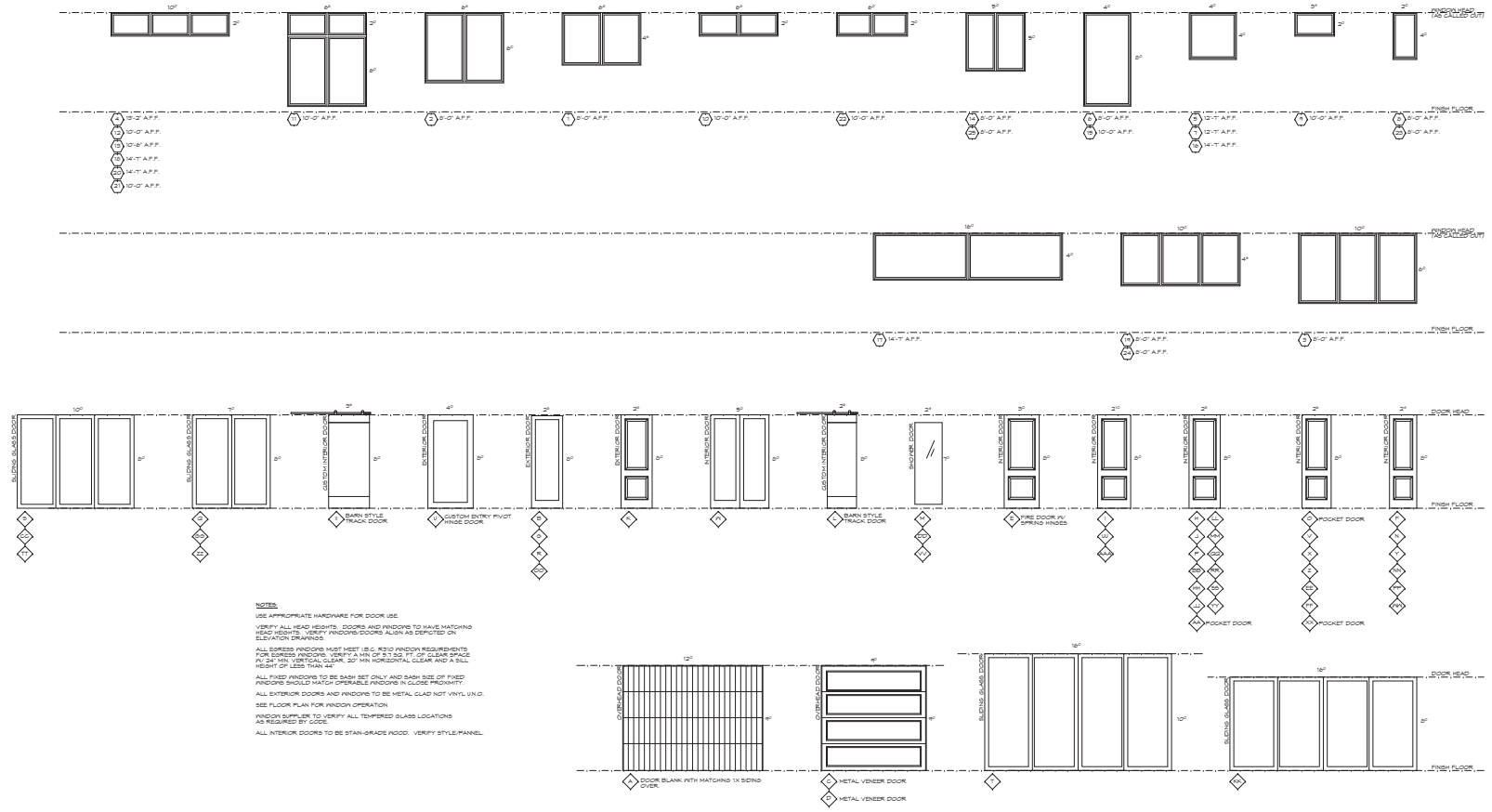
Copyright 2021 J Truex Architecture. The use of this document and these drawings for any purpose are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or released without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

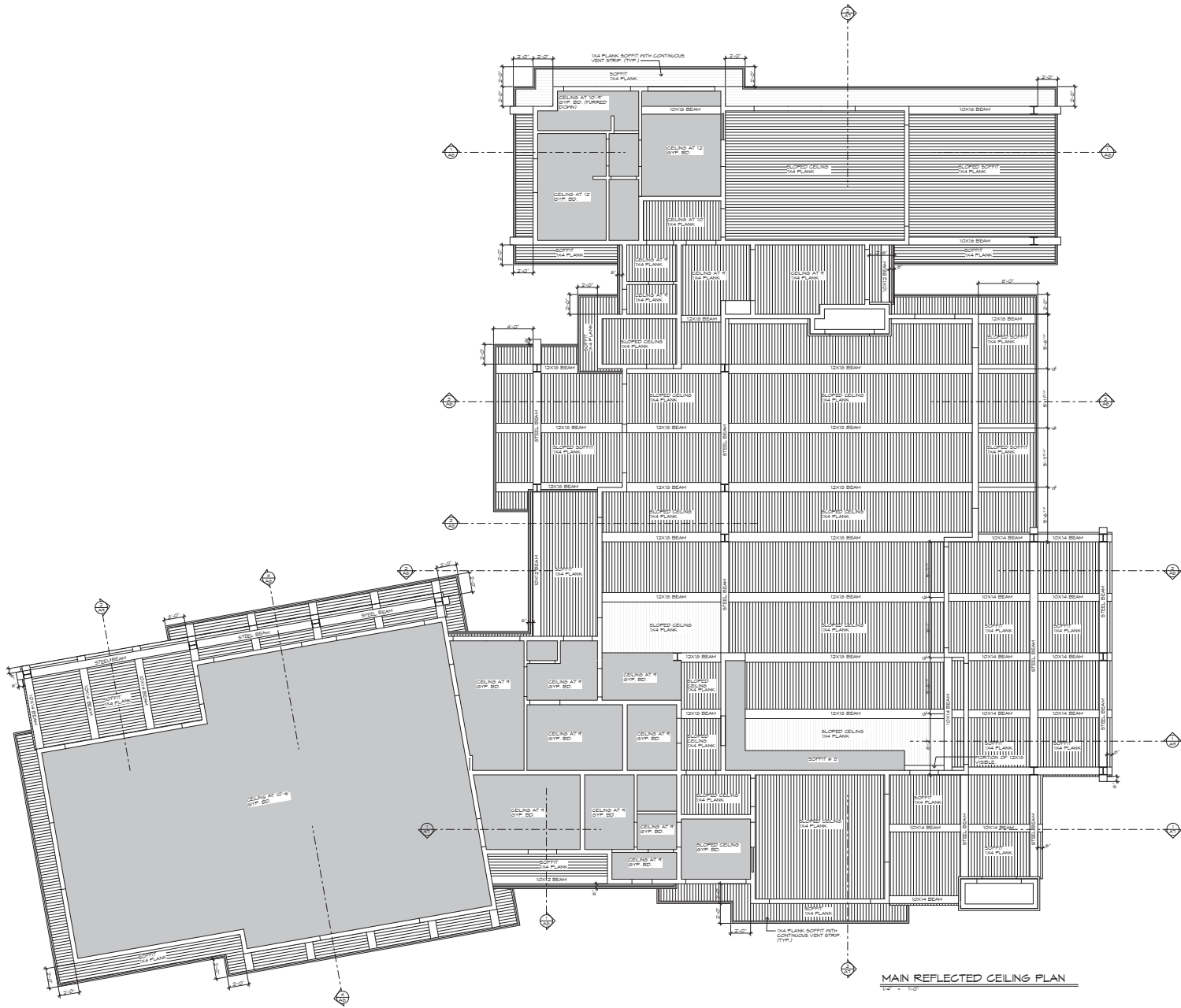
BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

Construction Drawings
Window Door Schedule

Revisions

Sheet number
A10





MAIN REFLECTED CEILING PLAN
1/4" = 1'-0"



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

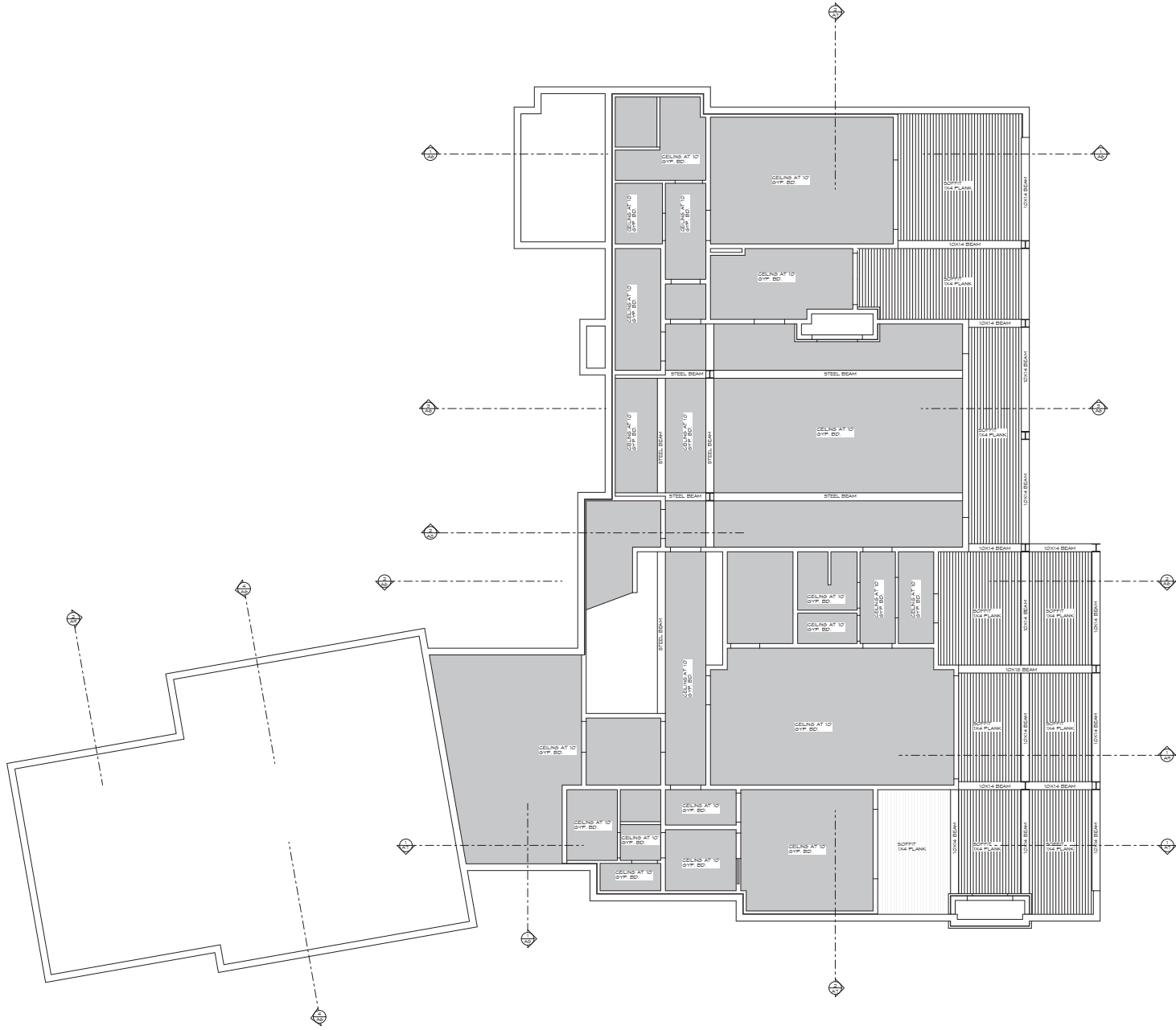
Copyright 2021 J Truex Architecture. The use of this document and these design drawings herein are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

Construction Drawings
Main Reflected Ceiling Plan

Revisions

Sheet number
A11



LOWER REFLECTED CEILING PLAN
1/4" = 1'-0"



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

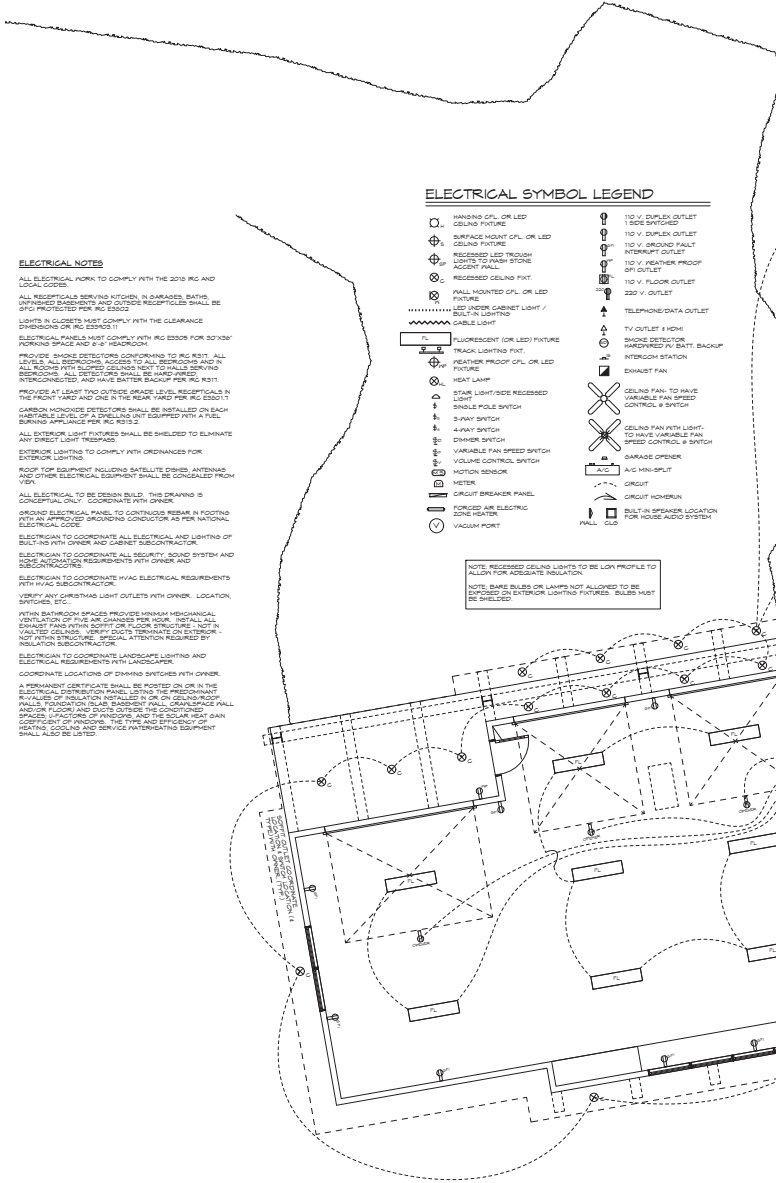
Copyright 2021 J Truex Architecture. The use of this document and these design drawings herein are strictly controlled by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All violations will be prosecuted to the fullest extent of the law at the discretion of J Truex Architecture.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

Construction Drawings
Lower Reflected Ceiling Plan

Revisions

Sheet number
A12



ELECTRICAL SYMBOL LEGEND

○	HANGING CFL OR LED CEILING FIXTURE	○	110 V. DUPLEX OUTLET 1500 SWITCHED
○	RECESSED CEILING CFL OR LED	○	110 V. DUPLEX OUTLET INTERRUPT OUTLET
○	RECESSED WASH DOWN ACCESS PANEL	○	110 V. WEATHER PROOF 80% OUTLET
○	RECESSED CEILING FIXTURE	○	110 V. FLOOR OUTLET
○	WALL MOUNTED CFL OR LED FIXTURE	○	220 V. OUTLET
○	LED UNDER CABINET LIGHT / TRACK LIGHTING	○	TELEPHONE/DATA OUTLET
○	CABLE LIGHT	○	TV OUTLET 4 HIGH
○	FLUORESCENT (OR LED) FIXTURE	○	SMOKE DETECTOR HARDWIRED IN DUCT, BACKUP
○	TRACK LIGHTING FIXTURE	○	INTERCOM STATION
○	WEATHER PROOF CFL OR LED FIXTURE	○	EXHAUST FAN
○	HEAT LAMP	○	CEILING FAN TO HAVE VARIABLE FAN SPEED CONTROL & SWITCH
○	STAIR LIGHT/RECESSED LIGHT	○	CEILING FAN WITH LIGHT TO HAVE VARIABLE FAN SPEED CONTROL & SWITCH
○	SINGLE POLE SWITCH	○	GARAGE OPENER
○	3-WAY SWITCH	○	A/C MINI-SPLIT
○	4-WAY SWITCH	○	GRIGUT
○	DIMMER SWITCH	○	GRIGUT HOMERUN
○	VARIABLE FAN SPEED SWITCH	○	FRIDGE AIR EXHAUST ZONE HEATER
○	VOLUME CONTROL SWITCH	○	BULL'S HEAD LOCATION FOR HOUSE AND OUTLET
○	MOTION SENSOR	○	VACUUM POINT
○	METER	○	PANEL GND
○	GRIGUT BREAKER PANEL		

NOTE: RECESSED CEILING LIGHTS TO BE LOW PROFILE TO ALLOW FOR ACCESS TO CEILING.

NOTE: BARE BULBS OR LAMPS NOT ALLOWED TO BE EXPOSED ON EXTERIOR LIGHTING FIXTURES. BULBS MUST BE SHIELDED.

NOTE: CHRISTMAS LIGHT OUTLETS. VERIFY LOCATION IN GARAGE. COORDINATE LOCATIONS WITH OWNER. (TYP.)

NOTE: COORDINATE LIGHTING WITH INTERIOR DESIGNER. VERIFY SPECIFIC LIGHTING FIXTURES AND SWITCH OUTLET COORDINATE LOCATIONS WITH OWNER.

NOTE: LIGHTING CONTROL, AUTOMATION, SECURITY CONTROLS, HVAC AUTOMATION ETC. BY OTHERS.

NOTE: GARAGE MONITOR DETECTORS SHALL BE INSTALLED WITH EGRESS BY A FUEL BURNING APPLIANCE.

NOTE: VERIFY IF ANYONE TO HAVE ELECTRIC SHOCK. COORDINATE LOCATIONS WITH OWNER. VERIFY REQUIREMENTS WITH APPLICABLE SHOCK DEVICES CHOSEN.

MAIN ELECTRICAL PLAN



Stamp



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

Copyright 2021 J Truex Architecture. The use of this document and these drawings without written consent are strictly controlled by US copyright law. This document and design may not be copied, reprinted, or otherwise used without prior written approval by J Truex Architecture. All liabilities will be prosecuted to the fullest extent of the law in the event of a \$100,000 per incident.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

Construction Drawings

Main Electrical Plan

Revisions

Sheet number

E1



J Truex Architecture
 8403 Spring Creek Way Middleton, Id. 83644
 Phone: 208-634-9810
 jtruexarchitecture.com

Drawn by: JT
 Approved by: JT
 Date: 10/21/21
 Scale:

Copyright 2021 J Truex Architecture. The use of this document and these drawings without written consent is strictly prohibited by US copyright law. This document and design may not be copied, reproduced, or referenced without prior written approval by J Truex Architecture. All liabilities will be prosecuted to the fullest extent of the law at the rate of \$100,000 per hour.

BOTTLES RESIDENCE
 Payette Lake Cottage Sites Lot 6
 1940 Warren Wagon Rd.
 McCall, Id.

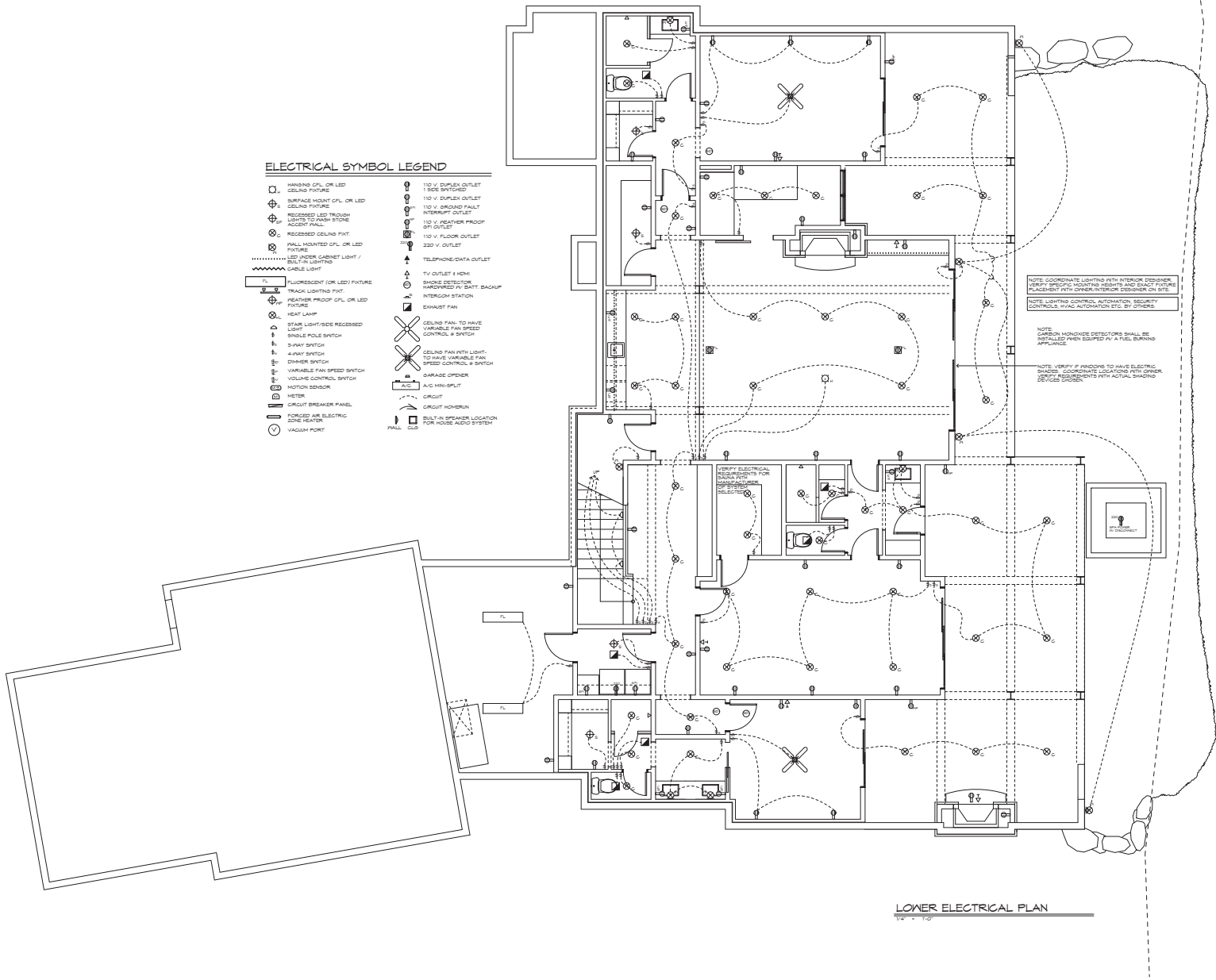
Construction Drawings
 Lower Electrical Plan

Revisions

Sheet number
E2

ELECTRICAL SYMBOL LEGEND

- | | | | |
|---|--|---|--|
| ○ | HANGING CFL OR LED CEILING FIXTURE | ○ | 120 V. DUPLEX OUTLET 1 SIDE SWITCHED |
| ○ | SURFACE MOUNT CFL OR LED CEILING FIXTURE | ○ | 120 V. DUPLEX OUTLET |
| ○ | RECESSED LED TROUSER LIGHTS TO WASH STONE ROCKET PANEL | ○ | 120 V. GROUND FAULT INTERRUPTER OUTLET |
| ○ | RECESSED CEILING FIXT. | ○ | 120 V. WEATHER PROOF GFI OUTLET |
| ○ | WALL MOUNTED CFL OR LED FIXTURE | ○ | 120 V. FLOOR OUTLET |
| ○ | LED UNDER CABINET LIGHT / MULTIPLEX LIGHTING | ○ | 220 V. OUTLET |
| ○ | CABLE LIGHT | ○ | TELEPHONE/DATA OUTLET |
| ○ | FLUORESCENT (OR LED) FIXTURE | ○ | TV OUTLET 4 HDMI |
| ○ | TRACK LIGHTING FIXT. | ○ | SMOKE DETECTOR HARDWIRED TO BATT. BACKUP |
| ○ | WEATHER PROOF CFL OR LED FIXTURE | ○ | INTERCOM STATION |
| ○ | HEAT LAMP | ○ | EXHAUST FAN |
| ○ | STAIR LIGHT (SIDE RECESSED LIGHT) | ○ | CEILING FAN TO HAVE VARIABLE FAN SPEED CONTROL & SWITCH |
| ○ | SINGLE POLE SWITCH | ○ | CEILING FAN WITH LIGHT TO HAVE VARIABLE FAN SPEED CONTROL & SWITCH |
| ○ | 3-WAY SWITCH | ○ | GARAGE OPENER |
| ○ | 4-WAY SWITCH | ○ | A/C MIN-SPLIT |
| ○ | DIMMER SWITCH | ○ | GARAGE |
| ○ | VARIABLE FAN SPEED SWITCH | ○ | GARAGE HOVORN |
| ○ | VOLUME CONTROL SWITCH | ○ | BUILT-IN SPEAKER LOCATION FOR HOUSE AUDIO SYSTEM |
| ○ | MOTION SENSOR | ○ | |
| ○ | METER | ○ | |
| ○ | CIRCUIT BREAKER PANEL | ○ | |
| ○ | FORGED AIR ELECTRIC ZONE HEATER | ○ | |
| ○ | YARDWALL POINT | ○ | |



NOTE: COORDINATE LIGHTING WITH WINDOW TREATING, VERIFY SPECIFIC LIGHTING HEIGHTS AND SPACING FIXTURE PLACEMENT WITH WINDOW TREATING CONTRACTOR ON SITE.

NOTE: LIGHTING CONTROL, AUTOMATION, SECURITY CONTROLS, HVAC AUTOMATION ETC. BY OTHERS.

NOTE: CARBON MONOXIDE DETECTORS SHALL BE INSTALLED WHEN EQUIPPED IN A FUEL-BURNING APPLIANCE.

NOTE: VERIFY IF ROOMS TO HAVE ELECTRIC SHADERS. COORDINATE LOCATIONS WITH OTHER SERVICE PROVIDERS TO FIT ACTUAL SHADING.

LOWER ELECTRICAL PLAN
 10/21/21

TREE PROTECTION PROTOCOL - CITY OF McCALL

1. CONTRACTOR SHALL MEET WITH THE CITY OF McCALL ARBORIST PRIOR TO ANY EARTHWORK.
2. CONTRACTOR SHALL FIRST INSTALL CONSTRUCTION FENCING AROUND THE CRITICAL ROOT ZONE (CRZ) OF ALL SIGNIFICANT TREES TO BE SAVED. AT A MINIMUM, THIS WOULD BE 8' FROM THE TRUNK.
3. CONSTRUCTION FENCING SHALL BE STRONG AND SECURED TO STURDY STAKES SUCH AS METAL T POSTS OR APPROVED EQUAL AND HAVE SIGNAGE INDICATING THAT THESE TREES ARE TO BE PRESERVED AND PROTECTED.
4. CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
5. IF FENCING AROUND THE ROOT ZONE IS NOT AN OPTION, A THICK LAYER (12"-15") OF WOOD MULCH (WOOD CHIPS) CAN BE SPREAD ACROSS THE ROOT ZONE TO PREVENT SOIL COMPACTION DURING CONSTRUCTION.
6. BRIDGING THE ROOT ZONE WITH SHEETS OF PLYWOOD MAY ALSO BE USED.
7. PROTECT THE TRUNK OF THE TREE WITH THE TREE PROTECTION DETAIL INCLUDED ON THE DRAWINGS.
8. NO VEHICLE TRAFFIC OR MATERIAL STORAGE SHALL OCCUR WITHIN THE CRZ.
9. IF CONSTRUCTION MUST OCCUR WITHIN THE CRZ, THE CITY ARBORIST SHALL BE PRESENT DURING CONSTRUCTION.
10. IF DURING EXCAVATION ROOTS ARE ENCOUNTERED, THE CITY ARBORIST SHALL PERFORM A VISUAL INSPECTION AND DETERMINE THE BEST COURSE OF ACTION.
11. ALL TREE ROOT PRUNING SHALL BE DONE WITH NEAT, CLEAN CUTS OF THE ROOTS WITH A SHARP TOOL AND NO TREATMENT (WOUND DRESSING) OF THE ENDS OF THE ROOTS SHALL BE PERFORMED.
12. BRANCH TRIMMING SHALL ONLY BE DONE AT THE DIRECTION OF THE CITY ARBORIST.
13. SUPPLEMENTAL WATERING OR IRRIGATION OF TREES SHOULD BE DONE THROUGHOUT THE CONSTRUCTION PROCESS. IT IS BEST TO SET SPRINKLER(S) NEAR THE TREE(S) AT LEAST ONCE A WEEK THROUGH THE CONSTRUCTION SEASON.

EXISTING TREE KEY

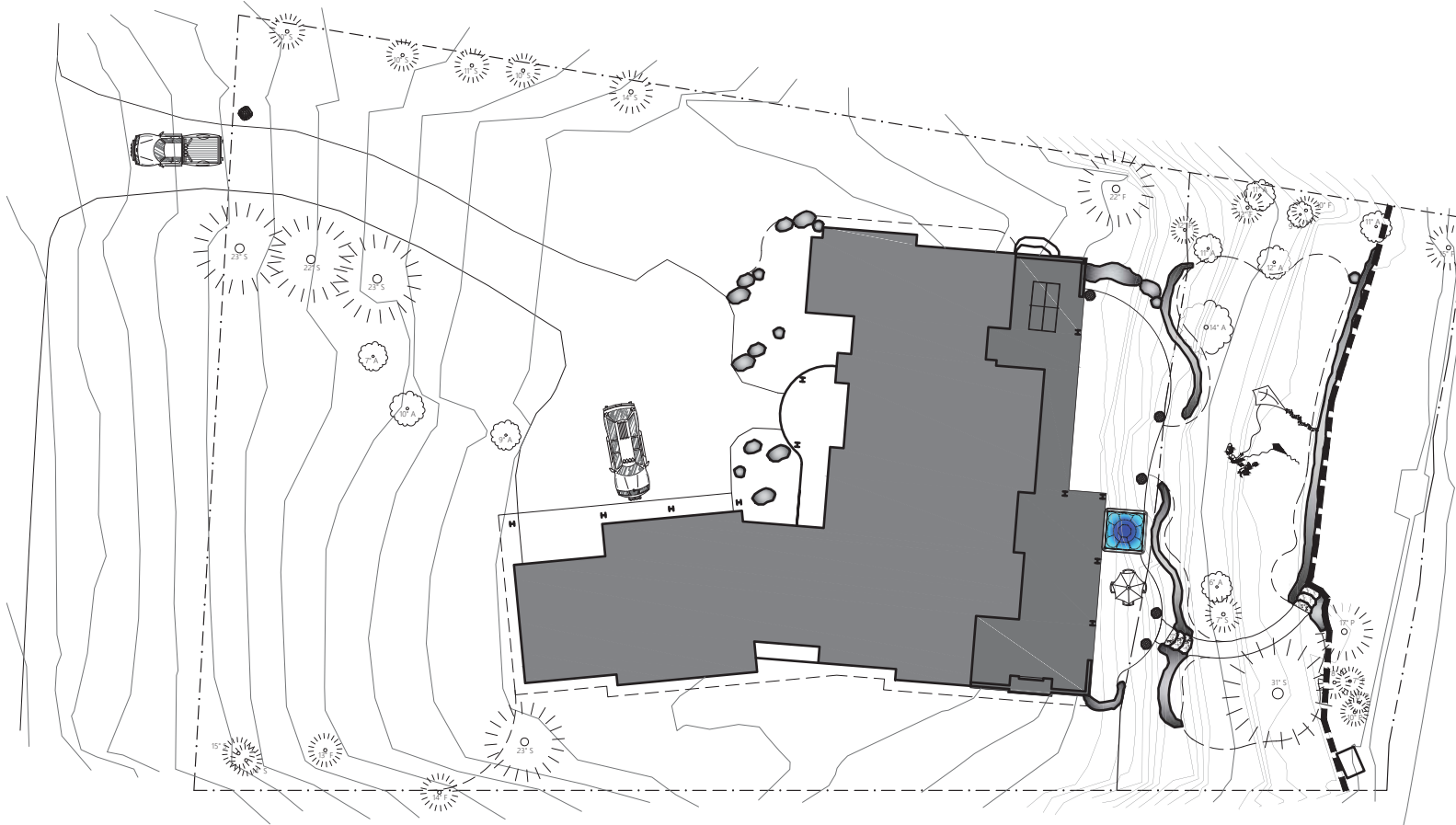
- A - ASPEN
- F - FIR
- P - PINE
- S - SPRUCE

LEGEND

SAVE AND PROTECT EXISTING DECIDUOUS TREES



SAVE AND PROTECT EXISTING CONIFEROUS TREES



TREE PROTECTION PLAN

SCALE 1:10



CHUCK B. EDWARDS
 LANDSCAPE ARCHITECTURE & 3D VISUALIZATIONS
5000 Greenway Blvd. McCall, ID 83624 (208) 834-5418 www.chuckbedwards.com

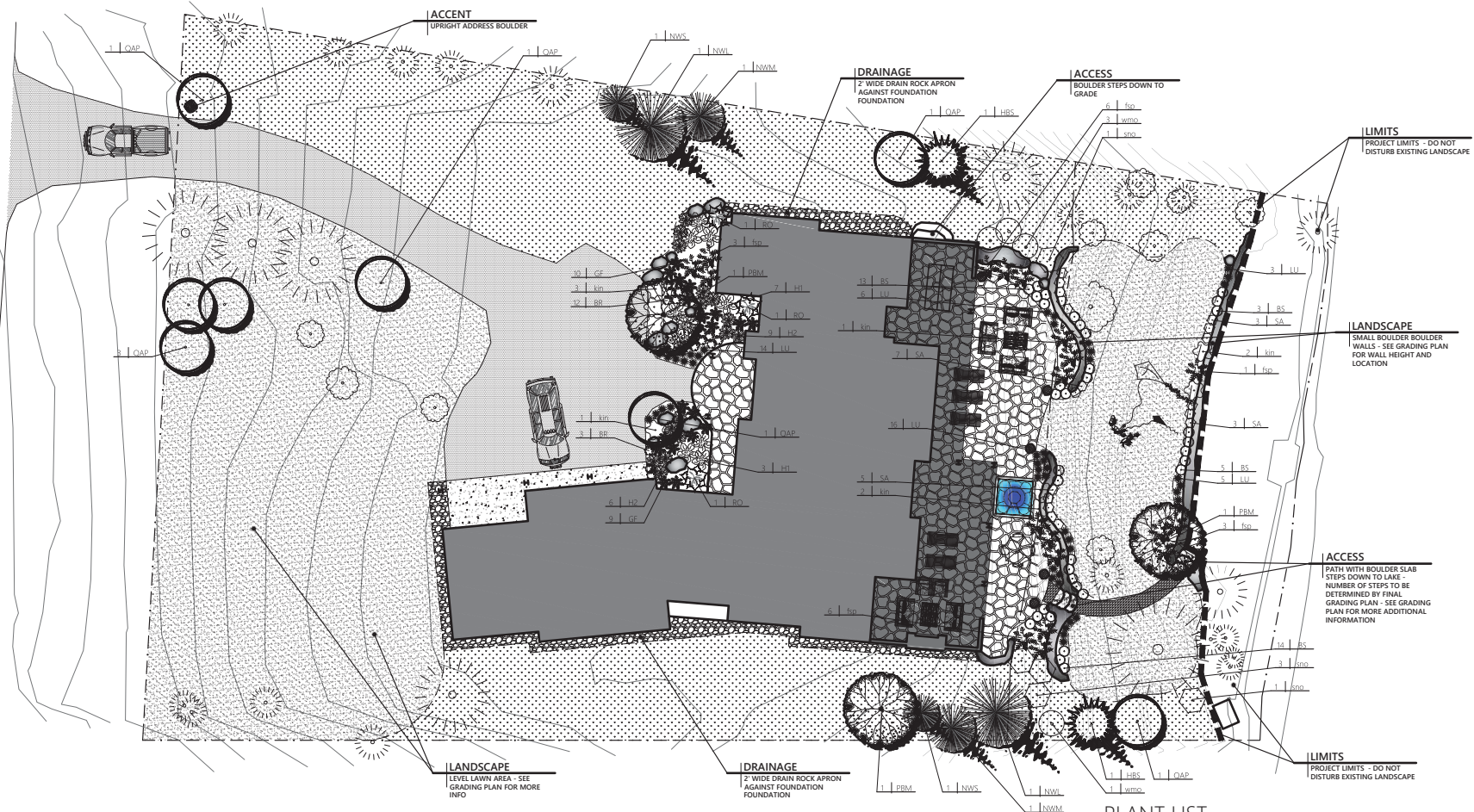
BOTTLES RESIDENCE
 1940 WARREN WAGON RD
 McCALL, ID
 LANDSCAPE MASTER PLAN

REVISIONS:	
1.	4.
2.	5.
3.	6.

PROJECT NUMBER: 21-048 SHEET NUMBER: _____

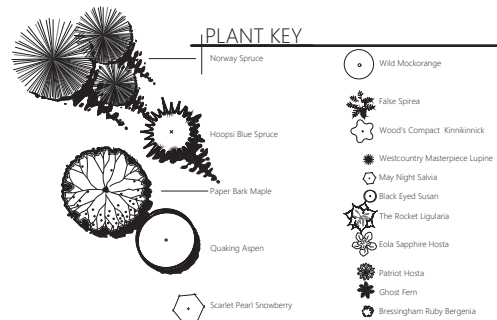
DRAWN BY: CBE **L1.1**

DATE: 10.21.21



LEGEND

- NEW ENGLAND BLUESTONE FLAGSTONE - SAME CUT JOINTS FOR TIGHT FINISH
- CONCRETE FLATWORK
- ASPHALT DRIVE
- FRACTURED COMPACTED PEA GRAVEL PATH
- SOD
- UNDISTURBED NATIVE AREAS - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED WITH NATIVE MEADOW GRASS MIX: WESTERN NARROW (2), FIRECRACKER PENSTEMON (4), BLUE FLAX (4.2), CALIFORNIA POPPY (4.2), SHEEP FESCUE (3), EDWARD FESCUE (4), SANDBURG BLUEGRASS (2), ROCKY MOUNTAIN PENSTEMON (2)
- INSTALL @ 20LBS/ACRE
- DRAIN ROCK
- ADDRESS BOULDER - SEE ELEVATION FOR MORE INFO
- LANDSCAPE BOULDER
- BOULDER STEPS
- BOULDER WALL
- ANNUAL COLOR POTS - CONNECT TO DRP SYSTEM



PLANT LIST

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE
TREES				
2	NWL	Norway Spruce (large)	<i>Picea abies</i>	10-15' B&B
2	NWLM	Norway Spruce (medium)	<i>Picea abies</i>	6'-8' B&B
2	NWLS	Norway Spruce (small)	<i>Picea abies</i>	3'-5' B&B
1	HBS	Hoopii Blue Spruce	<i>Picea quadrata</i> 'Hoopii'	8'-10' B&B
3	PRM	Paper Bark Maple	<i>Acer japonicum</i>	2' Cal
8	QAP	Quaking Aspen	<i>Populus tremuloides</i>	7' Cal
SHRUBS				
1	SP	Scarlet Pearl Snowberry	<i>Symphoricarpos</i> 'Scarlet Pearl'	1.5 Gal
4	WMO	Wild Mockorange	<i>Philadelphus lewisii</i>	1.5 Gal
10	FS	False Spirea	<i>Spiraea japonica</i>	2.5 Gal
9	WCK	Wood's Compact Kinnikinnick	<i>Andropogon virginicus</i> 'Wood's Compact'	2.5 Gal
PERENNIALS & GROUND COVERS				
44	LU	Westcountry® Masterpiece Lupine	<i>Lupinus</i> 'Masterpiece'	1 Gal
18	SA	May Night Salvia	<i>Salvia</i> 'May Night'	1 Gal
18	BS	Black Eyed Susan	<i>Xanthoxylum nigricum</i> 'Goldilocks'	1 Gal
1	RO	The Rocket Ligularia	<i>Ligularia sibirica</i> 'The Rocket'	1 Gal
10	EH	Eola Sapphire Hosta	<i>Hosta</i> 'Eola Sapphire'	1 Gal
15	HP	Patriot Hosta	<i>Hosta</i> 'Patriot'	1 Gal
10	GF	Ghost Fern	<i>Althysium</i> 'Ghost'	1 Gal
15	BR	Bressingham Ruby Bergenia	<i>Bergenia</i> 'Bressingham Ruby'	1 Gal

**** plants drawn on plan supersedes number on plant list



CHUCK B. EDWARDS
 LANDSCAPE ARCHITECTURE & 3D VISUALIZATIONS
 601 West 10th Street, Suite 201
 Boise, ID 83724
 Phone: 208.333.8888
 Website: www.chuckb.com

BOTTLES RESIDENCE
 1940 WARREN WAGON RD
 McCALL, ID
 LANDSCAPE MASTER PLAN

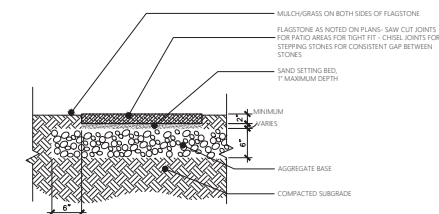
REVISIONS:

1.	4.
2.	5.
3.	6.

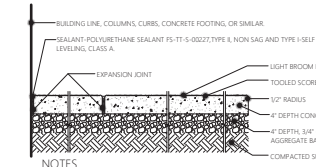
PROJECT NUMBER: 21-048
 SHEET NUMBER

DRAWN BY: CBE
 DATE: 10.21.21

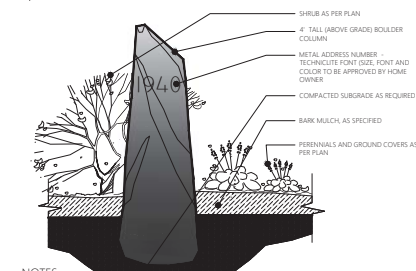
L1.2



1 | FLAGSTONE

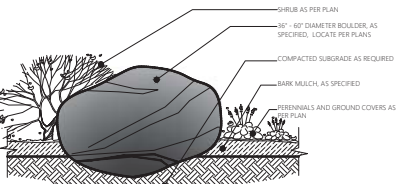


2 | CONCRETE FLATWORK



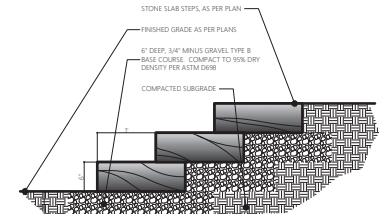
- NOTES**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION.
 3. CLEAN BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. WHEN PLACING BOULDER/COLUMN, BURY 4" BOULDER BELOW FINISH GRADE.
 5. DO NOT SCAR OR DAMAGE BOULDER.

3 | LANDSCAPE BOULDER COLUMN

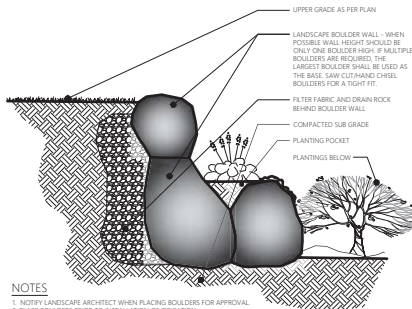


- NOTES**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION.
 3. CLEAN BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. WHEN PLACING BOULDER, BURY TOP OF BOULDER BELOW FINISH GRADE.
 5. DO NOT SCAR OR DAMAGE BOULDERS.
 6. WHEN CASCADING BOULDERS, DISTANCES BETWEEN SIDES EVENLY (E.G. IN A GROUP OF 3, (2) WILL BE LARGE, (2) WILL BE MEDIUM, AND (2) WILL BE SMALL).

4 | LANDSCAPE BOULDER



5 | STONE SLAB STEPS



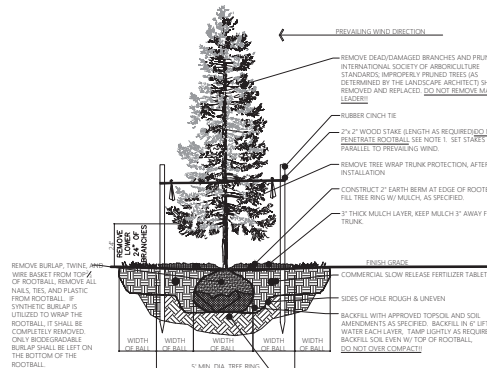
- NOTES**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION.
 3. CLEAN BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. DO NOT SCAR OR DAMAGE BOULDERS.

6 | LANDSCAPE BOULDER WALL WITH PLANTING POCKETS - SECTION



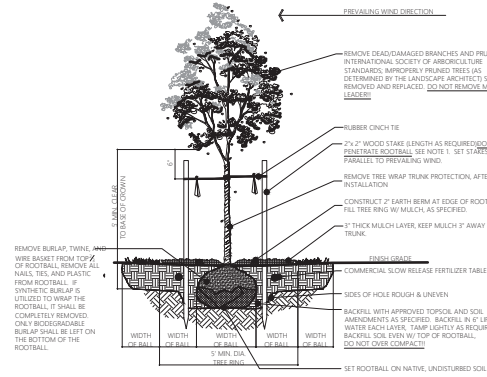
- NOTES**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION.
 3. CLEAN BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. DO NOT SCAR OR DAMAGE BOULDERS.

7 | LANDSCAPE BOULDER WALL WITH PLANTING POCKETS - ELEVATION



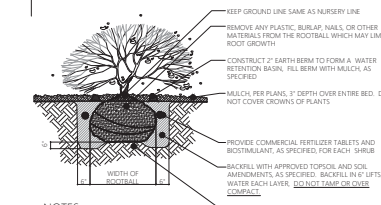
- NOTES**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION, WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 4. WRAP RUBBER CINCH TIE AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TIE METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPING.
 5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

8 | CONIFEROUS TREE PLANTING



- NOTES**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION, WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 4. WRAP RUBBER CINCH TIE AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TIE METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPING.
 5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 7. FOR TREES LOCATED WITHIN WALKER PLANter AREAS LESS THAN 8" IN WIDTH, PROVIDE TREE ROOT BARRIER OVERLAP 4x4 @ APPROVED EQUALS. LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS. CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

9 | DECIDUOUS TREE PLANTING



- NOTES**
1. WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
 2. APPLY 1" SPECIFIED PER BAG/BUCKET'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

10 | SHRUB PLANTING

LANDSCAPE NOTES

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION OF EACH TASK.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TREE AND SIZE SHOWN. PLANTS WILL BE RECEIVED IN A SOUND AND HEALTHY CONDITION.
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERSUE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANT MATERIAL SHALL BE QUANTIFIED AND NOTED ON ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL PERIODIC DEAD OR IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
9. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
10. AREAS BEING PROPOSED TOPSOIL AT A RATE OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. 80% TO 100% ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL. TEST ALL TREES AND SHRUBS WITH AGROSPHERE PLANTING TABLETS. QUANTITY FOR MANUFACTURER'S RECOMMENDATIONS.
11. ALL PLANTING AREAS SHALL HAVE A MINIMUM 1/2" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 1" DEPTH OF TOPSOIL. SPREAD, COMPOST, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 1" BELOW ADJACENT SURFACES OF PAVED OR AREAS 1/4" BELOW ADJACENT SURFACES OF TURF SOIL AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
12. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST ANALYSES AND PROVIDE ADDITIONAL AMENDMENTS AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOODS, WEEDS, NODS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF IMPORTED TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - B) IMPROVE ON SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
14. AS OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM A HOME HAVING ANY OTHER DISINFECTANT OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
15. AS OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM A HOME HAVING ANY OTHER DISINFECTANT OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
16. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
17. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. ALL LAWN AREAS SHALL HAVE POP UPS (SPRAY) AND ALL PLANTER AREAS SHALL BE DRIP. ANY PLANTING IN THE NATIVE GRASSLAND AREA SHALL BE IRRIGATED BY A DRIP SYSTEM. IRRIGATIONS SYSTEM SHALL PROVIDE 100% COVERAGE AND SHALL BE PROPERLY ZONED.



CHUCK B. EDWARDS
 LANDSCAPE ARCHITECTURE & 3D VISUALIZATIONS
 2017-2024
 2024-2025
 2025-2026

BOTTLES RESIDENCE 1940 WARREN WAGON RD MCCALL, ID LANDSCAPE MASTER PLAN

REVISIONS:	1.	2.	3.	4.	5.	6.

PROJECT NUMBER: 21-048 SHEET NUMBER: _____

DRAWN BY: CBE L1.3

DATE: 10.21.21



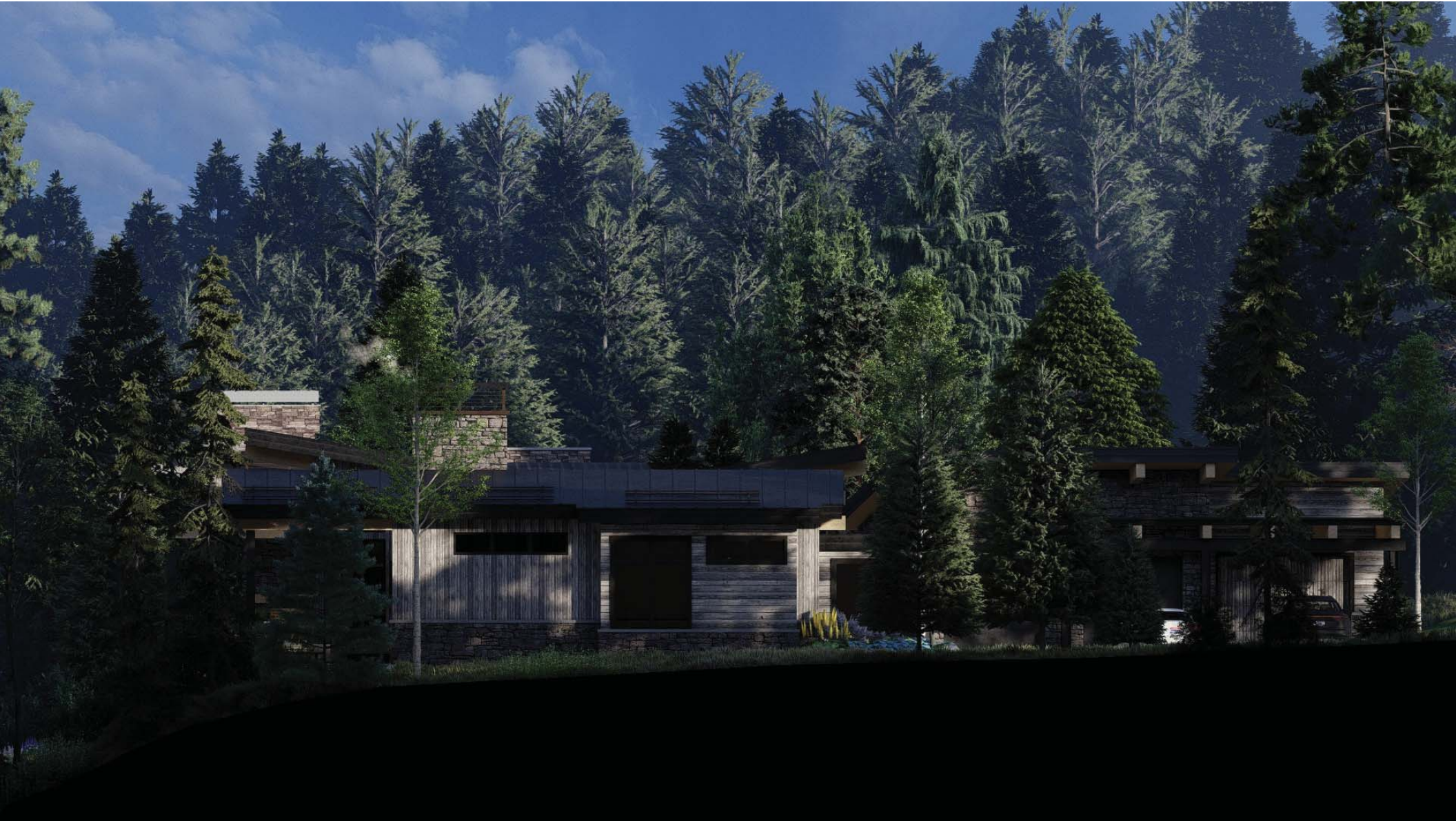
1940

































GENERATION LIGHTING

OL11603ORB-LED: Large LED Sconce



Dimensions:

Length: 36 1/2" **Extends:** 3 1/2"
Width: 6" **Wire:** 8"
Height: 7" **Mounting Proc.:** Universal Mounting Plate
Weight: 13 lbs. **Connection:** Mounted To Box
Bulb Type: Array
Bulb Base: Integrated
Volts: 120
Watts: 60
Watts Consumed: 60
Watts Rated: 60
Hours Rated: 50000
Lumens: 5400
Bulb Temp: 2700 °K
CRI: 90

Collection: Mattix

Featured in the decorative Mattix collection

1 Array Integrated 60 watt light bulb

Fixture is supplied with 1 light bulb

Meets American with Disabilities Act standard extension requirements

This advanced LED technology is carefully designed and selected to consist of the highest quality LED chipsets for superior performance and reliability.

UPC #: 014817565751

Finish: Oil Rubbed Bronze (ORB)

Bulbs:

1 - LED Integrated Array 60w 120v - included

Features:

- Meets American with Disabilities Act standard extension requirements
- This advanced LED technology is carefully designed and selected to consist of the highest quality LED chipsets for superior performance and reliability.

Material List:

1 Body - Cast Aluminum - Oil Rubbed Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French)
(OL11601_OL11602_OL11603-LED)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	24 3/4	5 3/4	1			18 1/8

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	OL11603ORB-LED	1	014817565751	42	10	7.5	1.823	18.5	93	Yes
NJ Pallet		42		48	40	73	81.111	785.4		No
NV Pallet		35		48	40	73	81.111	654.5		No

Meredith Todd

From: Morgan Stroud
Sent: Monday, November 22, 2021 8:31 AM
To: Jevon Truex
Cc: Brian Parker; Meredith Todd
Subject: DR21-37 - 1940 Warren Wagon Rd - Engineering Review #1

The Public Works Department has reviewed the documents submitted for review for **DR21-37** and have the following comments and concerns.

1. Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. Please address how the runoff from the patios at the east side of the home are being handled prior to it entering Payette Lake.
 - b. It appears that there is an infiltration trench proposed parallel to the lake, however, the preliminary grading does not show that the runoff from the swales will enter it. Adjusting the grading and extending the trench to the south may be needed to capture runoff from the front of the home.
 - c. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin areas, and appropriate hydrographs and calculations.
2. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
3. Please identify proposed and existing utility service lines to the new home. Knowing where the utilities are located in the planning and design phase can help identify contradictions with plantings or other construction details prior to construction beginning.
4. The applicant will obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Thank you,
Morgan Stroud, E.I.T. | Staff Engineer
216 E Park Street | McCall | ID 83638
Direct: 208.634.3458 | Cell: 208.315.2299





PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

November 16, 2021

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: DR-21-37, SH-21-13, SR-21-19, 1940 Warren Wagon Road

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. There is a sewer service connection for the lot and manhole(s) in the area of construction, the sewer service connection and manhole(s) shall be protected from damage during construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
3. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink that reads "Dale Caza".

Dale Caza
Manager, Payette Lakes Recreational Water and Sewer District
Email: dcaza@plrwsd.org

From: [Laura Shealy](#)
To: [Brian Parker](#)
Subject: Re: City of McCall Request for Comment - DR-21-37 - 1940 Warren Wagon Road
Date: Thursday, November 4, 2021 7:55:06 PM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian,

The proposed home is situated right at the edge of a steep slope down to Payette Lake. It appears they are planning a hardscape deck (pavers) which are discouraged. Hard surfaces such as pavers/boulders do not absorb stormwater runoff. This construction site needs to meet all standards of erosion control and erosion mitigating practices as laid down in the Lake-A-Syst document. There is ample instruction in the Lake-A-Syst packets to cover all aspects of responsible construction site erosion control methods and suggestions. Landscaping needs to be approved by the City of McCall with a strong emphasis on natural/native trees, grasses and plants that do the best job controlling erosion. Thanks Laura Shealy, Big Payette Lake Water Quality Council

On Thu, Nov 4, 2021 at 3:11 PM Brian Parker <bparker@mccall.id.us> wrote:

All,

Please provide comment on the attached application by November 18, 2021.

Thank you,

Brian Parker, AICP | City Planner

216 E. Park Street | McCall | Idaho 83638

Direct: 208.634.4256 | Fax: 208.634.3038



Web: mccall.id.us

Blog: mccallcitysource.com

Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

Brian Parker

From: Lori Laub <lori@laubs.org>
Sent: Tuesday, December 28, 2021 4:38 PM
To: Brian Parker
Subject: Re: DR-21-37 - 1940 Warren Wagon Road - Documents

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brian,
I hope you had a nice Christmas holiday!

Thank you for providing the application information. It looks like Mark and Geri are building a lovely home.

As the neighbor immediately adjacent on the south/southwest side of the applicant property I respectfully ask that the applicant be required to:

- add additional natural screening in the form of multiple trees and sizeable bushes between the house and the south/southwest property boundary; specifically along the back side (south/southwest side) of the garage and home to provide visual privacy and relief from what appears to be longest continuous side of the proposed structure. Continuing what is already proposed on the same side of the property from the beach to the lakefront deck.
- keep all existing trees and shrubs along the south/southwest property line, which seems would be beneficial to the applicant and adjacent property owner.
- remove the unused exposed pipes, cinder blocks and other debris on the south/southwest property line running approximately 50 feet from the shoreline up toward Warren Wagon Road without disturbing the current plant growth or changing the current topography.
- mitigate run-off onto adjacent properties and beaches.
- have all exterior lighting on the south/southwest side of the structure be restricted to shine downward only (not shine outward).

Thank you again for the opportunity to comment on what is clearly a well thought out design. I look forward to having the Bottles' as neighbors.

Sincerely,
Lori Laub
1926 Warren Wagon Road

From: Brian Parker <bparker@mccall.id.us>
Date: Tuesday, December 21, 2021 at 12:26 PM
To: Lori Laub <lori@laubs.org>
Subject: DR-21-37 - 1940 Warren Wagon Road - Documents

Lori,

The application materials for DR-21-37 can be found at the following link: [Application Materials](#).

Please let me know if you have any additional questions.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



Web: mccall.id.us
Blog: mccallcitysource.com
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)



**McCall Area Planning and Zoning Commission
Staff Report**

DR-21-40

120 Idaho Street

McCall-Donnelly School District Office

January 4th, 2022

Applicant: McCall-Donnelly Joint School District
Representative: Travis Burrows – Design West Architects
Application: Design Review
Zoning: CV – Civic
Jurisdictional Area: City of McCall

Description:

An application for Design Review to construct a new, 4,000 square foot, single-story office building in the same location as the existing School District office, to replace the old building. The new building design includes additional office space and a board room to allow more space for public meetings, as well as patio space for outdoor meetings. The property is zoned CV – Civic.

Staff Analysis

Project Information

Zoning District: CV - Civic

Comprehensive Plan Designation: Civic

Project Acreage: 20.96 acres

Proposed Use: Office Building

Dimensional Standards:

	Proposed	Required
Front Setback	27-feet	20-feet*
Rear Setback	832-feet	0-feet
East Side Yard Setback	1004-feet	15-feet
West Side Yard Setback	20-feet**	15-feet
Total Side Yard Setback	1024-feet	365-feet, 1-inches
Lot Coverage	103,681 square-feet (17.69% of allowed)	586,143 square-feet (80% of total)
Building Height	27-feet (at max height)	50-feet
Building Size	4,000 square-feet	N/A

* Setbacks abutting a residential zone (R4) are the same as the residential zone setback to the subject property line; ** setback between buildings on site

Code Sections of Interest

- McCall City Code Section

- 3.8.06 – Parking Provisions

Parking spaces for commercial, business park, or institutional uses shall be located not more than three hundred feet (300') from the principal use and shall be located behind or beside the use, except in the CBD, where parking spaces shall be located not more than one thousand feet (1,000') from the principal use and shall be located behind or beside the use.

- 3.8.061 – Internal Circulation Development Standards (E) – Surfacing

In the CC, CBD, NC, BP, I, AP and CV Zones, parking and loading spaces and driveways shall have an improved surface including asphalt, concrete, paving stones, grasscrete pavers bricks,...

- 3.8.063 - Bicycle Parking

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Vision In Motion - Our Economy:

McCall's educated population and top-rated education system is an asset to the economy and should continue to be fostered and enhanced.

- Deep Dive – Schools:

Increase the scope and quality of education for McCall Residents

- Deep Dive – Future Land Use Designations – Civic:

This land use designation is intended to provide for governmental offices and other civic facilities including governmental, cultural, and recreational facilities. Mixed use is allowed in combination with public uses. On the Future Land Use Map, it is applied to schools, parks, the hospital, and other selected public properties.

Staff Discussion

- The applicant is proposing to construct a 4,000 square foot, single-floor office building to replace the existing structure of the same use. While the structure is larger in size than the existing office building, the proposed new building is designed to match other buildings on the property, and allow more space for school district office employees and school board gatherings to take place. In addition, the new building steps back further from the pathway and northern property line, taking advantage of topography to minimize its scale.
- The applicant is proposing to use a combination of natural materials and metal wainscotting, and a color scheme (dark blue, wood grain, gray rib-siding) consistent with the McCall Design Guidelines and common practice in snow-country.
- The applicant is proposing to remove six (6) existing trees located within the footprint of the new building, but plans to retain several large trees in the front, side and rear yard setback areas. Construction activities are anticipated near these trees. The landscape plan as submitted includes a tree protection plan. Prior to the issuance of a building permit, the applicant should

be required to execute the measures identified within the tree protection plan and confirm they are in conformance with City of McCall Tree Protection Guidelines with the City Arborist.

- (3.8.06 – Parking Provisions) Office and Public administration buildings require 1 parking space per 500 square feet of floor area. With 4,000 square feet, the proposed office building requires 8 parking spaces. Given the presence of sixteen (16) maintained parking spaces within 300 feet of the site along Idaho Street. In addition, further south on the site (approx. 475 ft), at the McCall-Donnelly High School there is a >100-car parking lot, as well as 20-30 spaces for School District Maintenance vehicles 105 feet to the West of the proposed building site, along the Mission St. side of the property; providing more than 100 off-street parking spaces on site when they may be needed for the varied uses on site. Given the number of existing parking spaces within a 300 foot to 500-foot distance of the proposed new office building, additional surfaced parking off-street is not required.
- (3.8.061 – Internal Circulation Development Standards) Currently, there is an unimproved parking area on the property, approximately serving the maintenance/operations facility to the West of the proposed new office building. To come into conformance with current code standard, the gravel area should be improved with one of the surfaces approved in the CV Zone.
- (3.8.063 – Bicycle Parking) The proposed site plan, date stamped by the City on November 19, 2021, does not identify any bicycle parking located on site. Office Buildings are included in the table of Minimum Required Bicycle Parking Spaces within McCall City Code Section 3.8.063, which states the appropriate number of short- and long-term bicycle parking spaces is to two (2) long term, and two (2) short term parking spaces for bicycles.

Comments

Agency

McCall Public Works:

In an email dated December 29, 2021, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR-21-40** and have the following comments and concerns.

1. Portions of the onsite stormwater main (remaining 12-inch sections) that runs through the site are undersized and will need to be replaced with a 30-inch diameter (or equivalent) pipe to match the conveyance characteristics of the newer 30-inch stormwater main on Idaho St. Per discussion with MDS staff, we understand a portion of the 12-inch onsite stormwater main was replaced in 2020 with a 24-inch main. It is possible for this 24-inch main to perform similarly to a 30-inch main in certain conditions, but this determination cannot be made without providing additional calculations. Information regarding how the 24-inch pipe will function in the overall system (the 30 inch pipe and the remaining 12 inch pipe still on the schools property) with 25 storm events and 100 year storm events will need to be detailed and calculations provided in

the stormwater drainage report. This should also identify where any overflow (if anticipated) will occur and type of flow that is expected.

2. A Preliminary Stormwater Report was submitted with the application. It appears that the project will likely be able to comply with the City's Drainage Management Guidelines (DMGs) subject the following:
 - a. With the updated erosion control site plan, the total proposed impervious area for the project is identified to be approximately 5,116 square feet. Sections C and D of the Stormwater Management Plan Checklist Found in the DMG's will need to be added to the stormwater management report.
 - b. The Stormwater management report will need to be updated to provide appropriate information and calculations regarding the stormwater main that is referenced in #1 above.
 - c. Calculations regarding the infiltration trench and its volume capacity. Identifying if the infiltration trench will be enough to hold/treat the 1st flush storm water quality event (95% storm frequency).
 - d. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, and appropriate hydrographs and calculations.
3. If the parking lot to the west of the property is required to be paved. The Stormwater Drainage Report and applicable stormwater elements of the project will need to be updated and resubmitted for review and approval by the Public Works Department.
4. Information regarding the water meter and service line were not included. Is water usage anticipated to increase and require upsizing of the meter and service line?
5. More information regarding how pedestrians will be safely routed through the construction entrance and pathway along Idaho St is needed prior to approval of this location. The City would prefer that the existing paved driveway off of Mission Street would be utilized for construction to reduce the amount of potential conflicts with the public and construction activities. If Idaho Street is critical for construction, providing appropriate signage and other pedestrian safety measures need to be identified. Additionally, if any contractor staging is intended to be permanently located within the Idaho Street parking spaces, that information should be provided.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated December 8, 2021.

Public –

Brent Snider and Kathy Rogerson expressed concerns about parking availability.

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall be required to receive written approval of their tree protection plan from the City Arborist.
3. Prior to the issuance of a building permit, the applicant shall provide a revised site plan identifying a minimum of two (2) short-term and two (2) long-term bicycle parking spaces. The required bicycle parking shall be in conformance with McCall City Code Section 3.8.063(A)-(F) and the Association of

Pedestrian and Bicycle Professionals' *Essentials of Bike Parking*. Short term bicycle parking may be located within the furnishing zone (improved) of the sidewalk/pathway, so long as the applicant provides a maintenance plan and receives a public works permit for construction within the right-of-way.

4. Prior to the issuance of a building permit, the applicant shall submit a revised Landscaping Plan to identify trees greater than twelve inches (12") DBH, which are to be removed, and add the snow storage areas indicated on the Site Plan to the Landscaping Plan.
5. Prior to issuance of a building permit, the applicant shall provide fixture details that demonstrate that any existing and any proposed new fixtures follow McCall's Outdoor Lighting Ordinance.
6. The gravel parking lot serving the maintenance building on the NW corner of the property is not required to be improved at this time, as the proposed office building is served by adequate, improved parking spaces. Pursuant to McCall City Code 3.8.061(E), prior to any further site development on parcels RPM0109002000A or RPM01090020010, the applicant shall submit a Design Review application to improve the mentioned gravel parking area in accordance with McCall City Standards.
7. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
8. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

IN RE:)
)
MDSO Office) **McCALL AREA PLANNING AND ZONING COMMISSION**
Design Review) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
) **DECISION**
)
)
)
Application Number:)
DR-21-40)

FINDINGS OF FACTS

Applicant: McCall-Donnelly Joint School District, Jason Clay

Representative: Travis Burrows

Application: An application for Design Review to construct a new, 4,000 square foot, single-story office building in the same location as the existing School District office, to replace the old building. The new building design includes additional office space and a board room to allow more space for public meetings, as well as patio space for outdoor meetings. The property is zoned CV – Civic.

Address: 120 Idaho St

Location: Portions of Block 2, and all of Blocks 3 & 4 of the Hoff & Brown Subdivision, situated in the SW ¼ of the SW ¼ of Section 9, T18N, R3E, B.M. City of McCall, Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on December 16, 2021.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on December 14, 2021.

Posting: The Notice of Hearing was posted by the applicant on the subject property on December 14, 2021.

Zoning: CV – Civic

Property Size: 20.96 acres

Lot Coverage: 103,681 square-feet (17.69% of allowed)

Building Height: The maximum height of the proposed residence is 27-feet.

Setbacks:

	Proposed	Required
Front Setback	27-feet	20-feet
Rear Setback	832-feet	0-feet
East Side Yard Setbacks	1004-feet	15-feet
West Side Yard Setbacks	20-feet	15-feet

Parking Spaces:

Provided: 13+ spaces (within 300 feet of building entrance)

Required: 8 spaces per MCC 3.8.062

APPROVAL STANDARDS

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the City of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

Title 3, Chapter 16.07 (Applicable to all projects in the Civic Zone)

Design Review Criteria

The commission shall determine the following before approval is given:

(A) The project is in general conformance with the comprehensive plan.

The project is in general conformance with the McCall Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan.

(B) The project does not jeopardize the health, safety or welfare of the public.

The proposed development is not anticipated to have significant health, safety, or general welfare impacts on the existing, adjacent neighborhood.

(C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section [3.16.01](#) of this chapter.

The proposed use is in accord with the general objectives of McCall City Code Title III and the McCall Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan and McCall City Code Title III.

(D) The project will have no substantial impact on adjacent properties or on the community at large.

No substantial negative impact on adjacent properties or the community at large is anticipated with this development.

(E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.

N/A

(F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.

N/A

(G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

N/A

DEPARTMENT/AGENCY/PUBLIC COMMENTS

Agency –

McCall Public Works

In an email dated December 29, 2021, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR21-40** and have the following comments and concerns.

1. Portions of the onsite stormwater main (remaining 12-inch sections) that runs through the site are undersized and will need to be replaced with a 30-inch diameter (or equivalent) pipe to match the conveyance characteristics of the newer 30-inch stormwater main on Idaho St. Per discussion with MDSO staff, we understand a portion of the 12-inch onsite stormwater main was replaced in 2020 with a 24-inch main. It is possible for this 24-inch main to perform similarly to a 30-inch main in certain conditions, but this determination cannot be made without providing additional calculations. Information regarding how the 24 inch pipe will function in the overall system (the 30 inch pipe and the remaining 12 inch pipe still on the schools property) with 25 storm events and 100 year storm events will need to be detailed and calculations provided in

the stormwater drainage report. This should also identify where any overflow (if anticipated) will occur and type of flow that is expected.

2. A Preliminary Stormwater Report was submitted with the application. It appears that the project will likely be able to comply with the City's Drainage Management Guidelines (DMGs) subject to the following:
 - a. With the updated erosion control site plan, the total proposed impervious area for the project is identified to be approximately 5,116 square feet. Sections C and D of the Stormwater Management Plan Checklist Found in the DMG's will need to be added to the stormwater management report.
 - b. The Stormwater management report will need to be updated to provide appropriate information and calculations regarding the stormwater main that is referenced in #1 above.
 - c. Calculations regarding the infiltration trench and its volume capacity. Identifying if the infiltration trench will be enough to hold/treat the 1st flush storm water quality event (95% storm frequency).
 - d. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, and appropriate hydrographs and calculations.
3. If the parking lot to the west of the property is required to be paved. The Stormwater Drainage Report and applicable stormwater elements of the project will need to be updated and resubmitted for review and approval by the Public Works Department.
4. Information regarding the water meter and service line were not included. Is water usage anticipated to increase and require upsizing of the meter and service line?
5. More information regarding how pedestrians will be safely routed through the construction entrance and pathway along Idaho St is needed prior to approval of this location. The City would

prefer that the existing paved driveway off of Mission Street would be utilized for construction to reduce the amount of potential conflicts with the public and construction activities. If Idaho Street is critical for construction, providing appropriate signage and other pedestrian safety measures need to be identified. Additionally, if any contractor staging is intended to be permanently located within the Idaho Street parking spaces, that information should be provided.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated December 8, 2021.

Public –

Brent Snider and Kathy Rogerson expressed concerns about parking availability

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the January 4, 2022 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.

2. Prior to the issuance of a building permit, the applicant shall be required to receive written approval of their tree protection plan from the City Arborist.
3. Prior to the issuance of a building permit, the applicant shall provide a revised site plan identifying a minimum of two (2) short-term and two (2) long-term bicycle parking spaces. The required bicycle parking shall be in conformance with McCall City Code Section 3.8.063(A)-(F) and the Association of Pedestrian and Bicycle Professionals' *Essentials of Bike Parking*. Short term bicycle parking may be located within the furnishing zone (improved) of the sidewalk/pathway, so long as the applicant provides a maintenance plan and receives a public works permit for construction within the right-of-way.
4. Prior to the issuance of a building permit, the applicant shall submit a revised Landscaping Plan to identify trees greater than twelve inches (12") DBH, which are to be removed, and add the snow storage areas indicated on the Site Plan to the Landscaping Plan.
5. Prior to issuance of a building permit, the applicant shall provide fixture details that demonstrate that any existing and any proposed new fixtures are in compliance with McCall's Outdoor Lighting Ordinance.
6. The gravel parking lot serving the maintenance building on the NW corner of the property is not required to be improved at this time, as the proposed office building is served by adequate, improved parking spaces. Pursuant to McCall City Code 3.8.061(E), prior to any further site development on parcels RPM0109002000A or RPM01090020010, the applicant shall submit a Design Review application to improve the mentioned gravel parking area in accordance with McCall City Standards.

7. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.

8. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 4th day of January, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received:
11/19/2021 MHT
Fees Paid:

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: McCall-Donnelly School District - Jason Clay Email: [REDACTED]
Mailing Address: [REDACTED] Phone: [REDACTED]
Property Owner 2 (If Applicable): _____ Email: _____
Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Design West Architects - Travis Burrows Email: tburrows@designwestid.com
Mailing Address: 216 SW. 5th Ave. Meridian, ID 83642 Phone: 208-888-1768

PROPERTY INFORMATION

Address(es) of Property: 120 Idaho St. McCall, ID 83638
Legal Description of Property: Hoff & Brown First Addition (Amended) PT. Block 2 & All Blocks 3 & 4
Zoning District of Property: CV Project Sq. Footage (If Applicable): 4,000
Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

Replace the existing office building for the McCall-Donnelly School District with a new 4,000 SF, single story office building.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

McCall-Donnelly School District - Jason Clay
Property Owner 1


Signature

Property Owner 2 (If Applicable)

Signature

Design West Architects - Travis Burrows
Agent/Authorized Representative


Signature

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.



DESIGN
WEST

RECEIVED 11/19/2021
MHT

November 19, 2021

City of McCall Planning & Zoning
216 E. Park St.
McCall, ID 83638

McCall-Donnelly School District – New District Office Project Description

The McCall-Donnelly School District, located at 120 Idaho St., intends to replace their existing district office building with a new 4,000 square foot single-story office building in the same general location on the existing parcel. The new office building will accommodate the existing administration and staff with additional office space and a board room. Existing parking along Idaho St. will continue to be used and will satisfy the parking requirements for the new building.

The design and use of this project will be in accordance with all City of McCall planning and zoning requirements. The exterior of the building will have a variety of materials, including a box-rib metal panel wainscot with wood-grain siding above. The main entry consists of a glass vestibule and wood panel siding on the small tower that rises above the main roof and will incorporate timber columns and beams. The roofing material will be architectural shingles with a deep metal fascia. The site slopes down from north to south and the intent is to provide a deck / patio area at the east and south sides of the building.

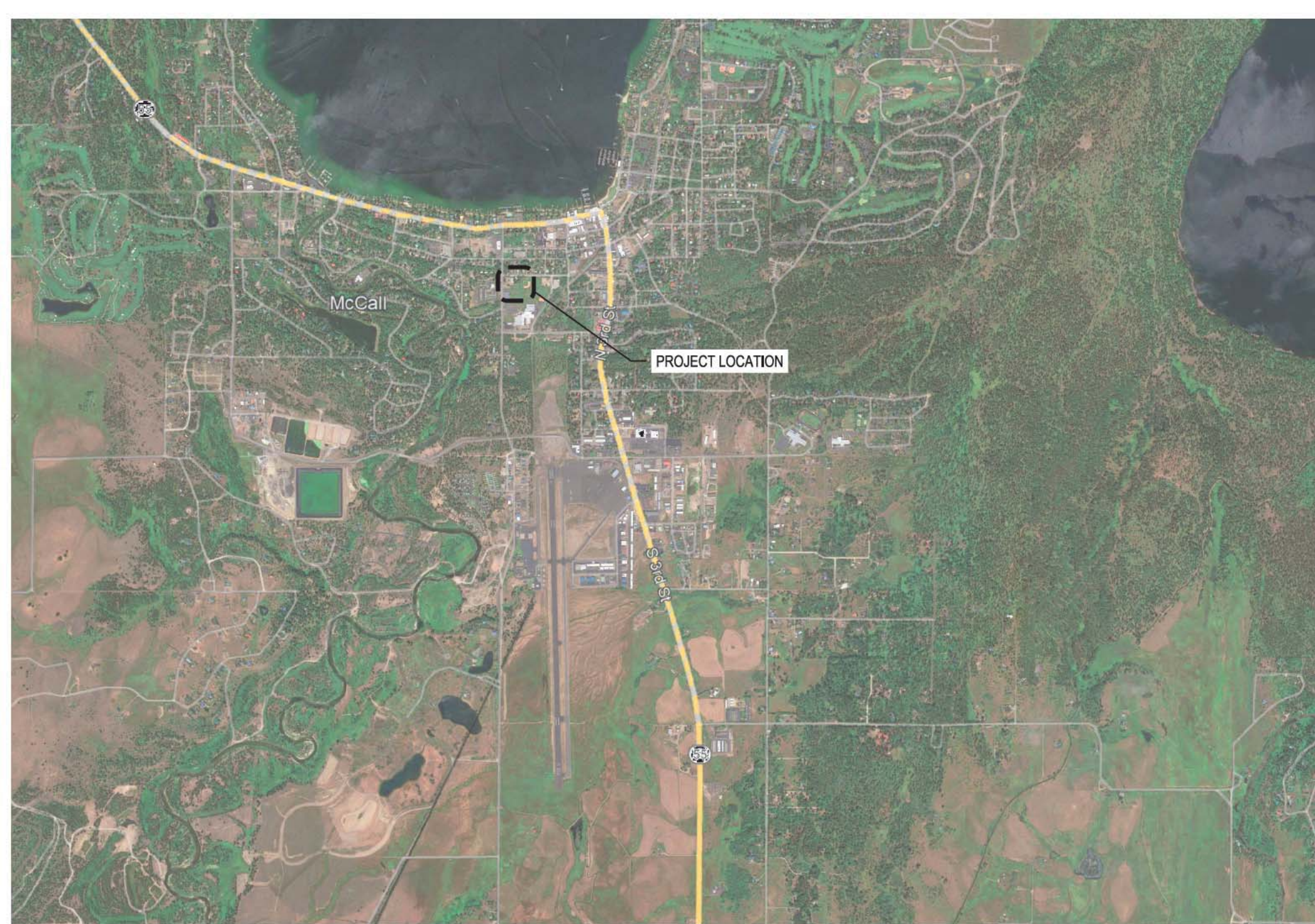
The proposed landscaping will comply with Title 3 in being selections of native or suitable plants for the McCall valley. The proposed lighting will comply with Title 3 Chapter 14 in that new fixtures will be placed on the building at doorways to provide 'sufficient lighting to promote safety and security' to exit and enter the building. The new fixtures will protect the view of the night sky and will comply with the guidelines in 3.14.02.

Please feel free to contact me with any questions.

Thanks for your time,



Travis Burrows
tburrows@designwestid.com
208-888-1768



VICINITY MAP



NOVEMBER 19, 2021

RECEIVED

By Meredith Todd at 10:53 am, Nov 29, 2021

MCCALL-DONNELLY SCHOOL DISTRICT
DISTRICT OFFICE

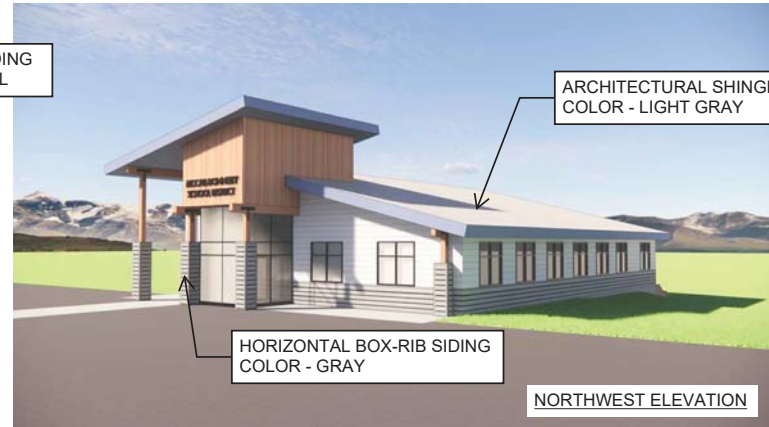
METAL FASCIA, SOFFIT & TRIM
COLOR - BLUE



WOOD PANEL SIDING
COLOR - NATURAL

NORTHEAST ELEVATION

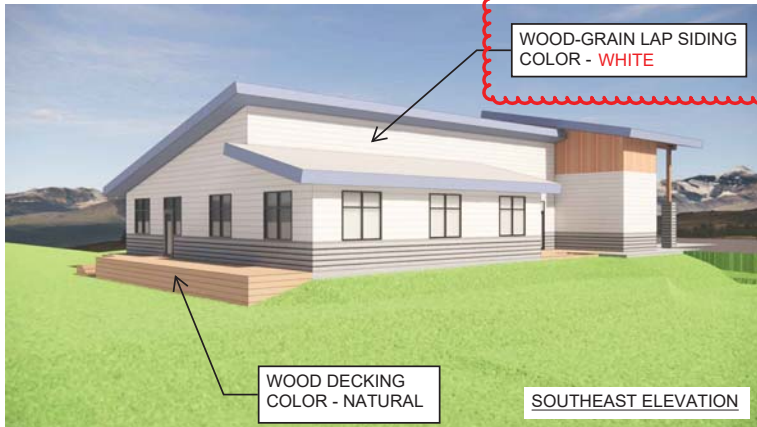
WOOD COLUMNS & BEAMS
COLOR - NATURAL



ARCHITECTURAL SHINGLES
COLOR - LIGHT GRAY

HORIZONTAL BOX-RIB SIDING
COLOR - GRAY

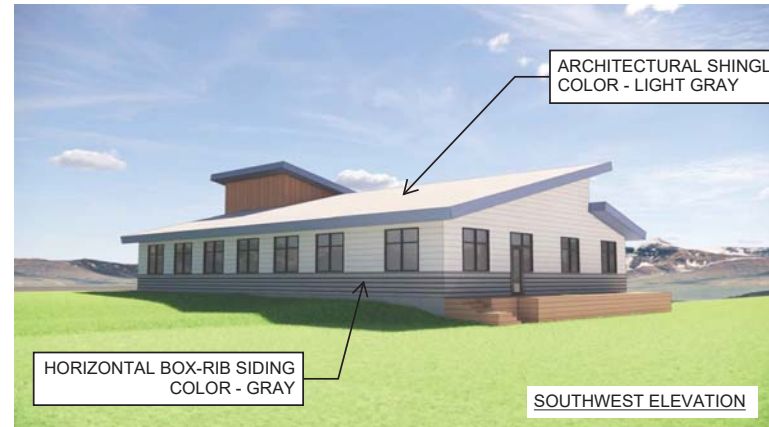
NORTHWEST ELEVATION



WOOD-GRAIN LAP SIDING
COLOR - WHITE

WOOD DECKING
COLOR - NATURAL

SOUTHEAST ELEVATION



ARCHITECTURAL SHINGLES
COLOR - LIGHT GRAY

HORIZONTAL BOX-RIB SIDING
COLOR - GRAY

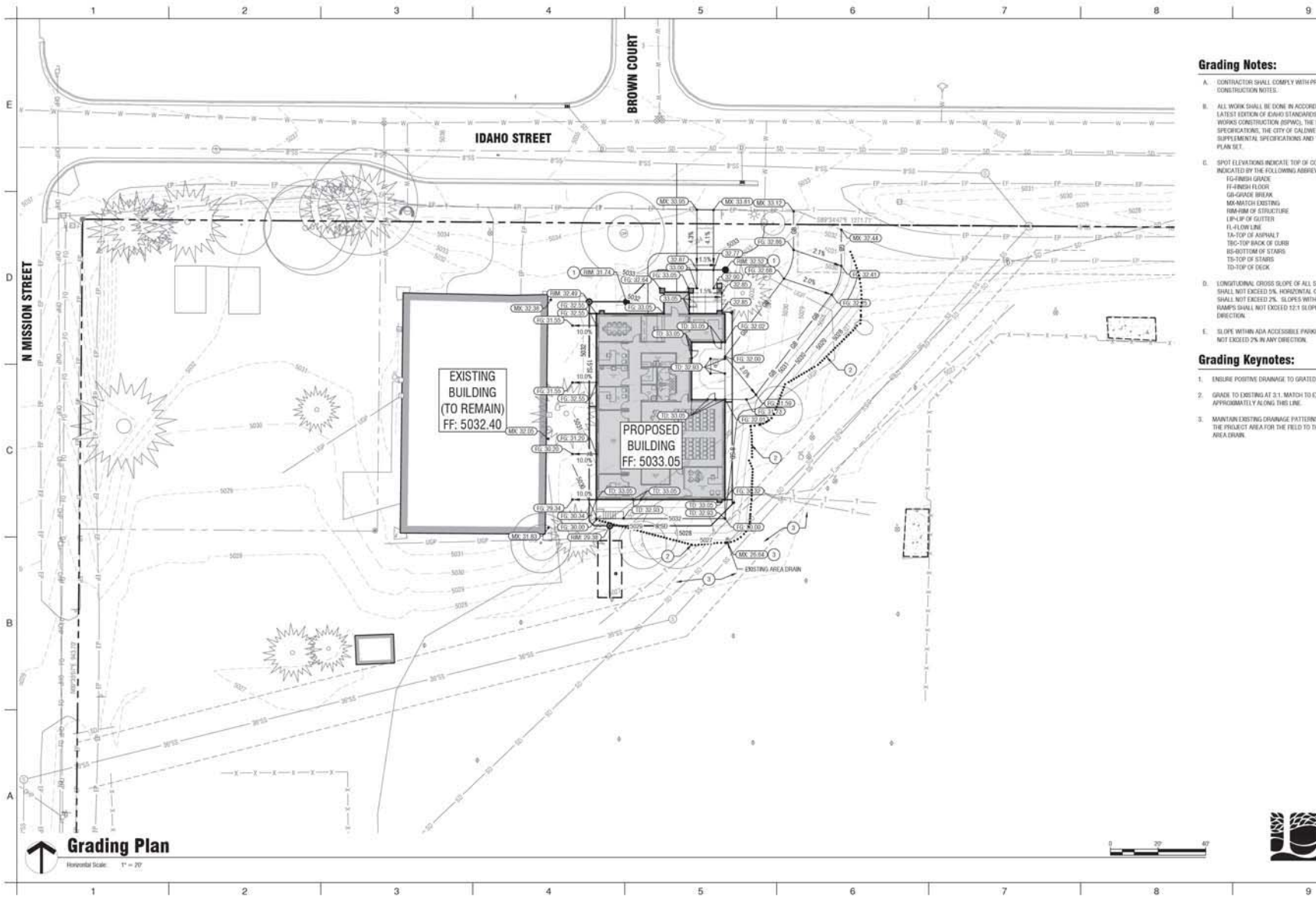
SOUTHWEST ELEVATION

NOTES:

1. COLORS SHOWN FOR REFERENCE. REFER TO MANUFACTURER'S COLOR SELECTION.
2. EXTERIOR LIGHTING WILL BE COMPLIANT WITH THE GUIDELINES IN TITLE 3 CHAPTER 14.

DESIGN REVIEW
NOT FOR CONSTRUCTION





- Grading Notes:**
- CONTRACTOR SHALL COMPLY WITH PROJECT CONSTRUCTION NOTES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (SPM), THE PROJECT SPECIFICATIONS, THE CITY OF CALDWELL SUPPLEMENTAL SPECIFICATIONS AND THE PROJECT PLAN SET.
 - SPOT ELEVATIONS INDICATE TOP OF CONCRETE UNLESS INDICATED BY THE FOLLOWING ABBREVIATIONS:
 FG-FINISH GRADE
 FF-FLOOR FINISH
 SG-GRADE BREAK
 MX-MATCH EXISTING FORM OF STRUCTURE
 LIP-LIP OF GUTTER
 FL-LOW LINE
 TA-TOP OF ASPHALT
 TB-TOP BACK OF CURB
 BS-BOTTOM OF STAIRS
 TD-TOP OF DECK
 - LONGITUDINAL CROSS SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 1%. HORIZONTAL CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 1:21 SLOPE IN ANY DIRECTION.
 - SLOPE WITHIN ADA ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.

- Grading Keynotes:**
- ENSURE POSITIVE DRAINAGE TO GRATED INLET.
 - GRADE TO EXISTING AT 3:1 MATCH TO EXISTING GRACES APPROPRIATELY FACING THIS LINE.
 - MAINTAIN EXISTING DRAINAGE PATTERNS OUTSIDE OF THE PROJECT AREA FOR THE FIELD TO THE EXISTING AREA DRAIN.

Grading Plan
 Horizontal Scale: 1" = 20'



DESIGN WEST ARCHITECTS, P.A.
 1000 W. MAIN ST. SUITE 200
 SPokane, Washington
 www.designwestpa.com

DRAWN BY
JMS/R

CHECKED BY
MTA

JOB NUMBER
21076

REVISIONS

PROFESSIONAL ENGINEER
 State of Idaho
 License No. 16298
 11/19/2021

MDSO DISTRICT OFFICE
 120 IDAHO ST.
 MCCALL, IDAHO 83638

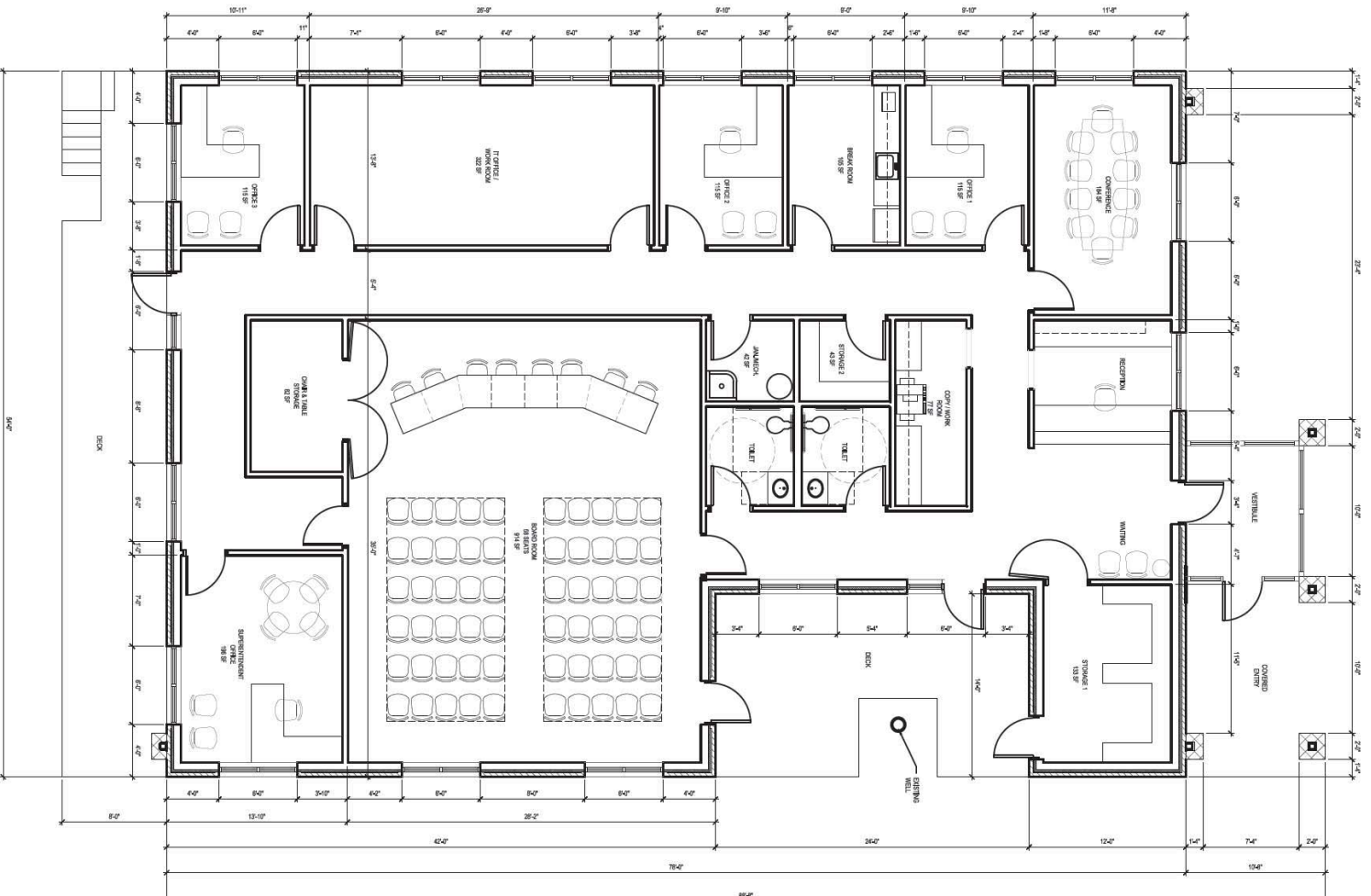
DATE
11/23/21

SHEET NAME
Grading Plan

SHEET
C4.00

NOVEMBER 19, 2021

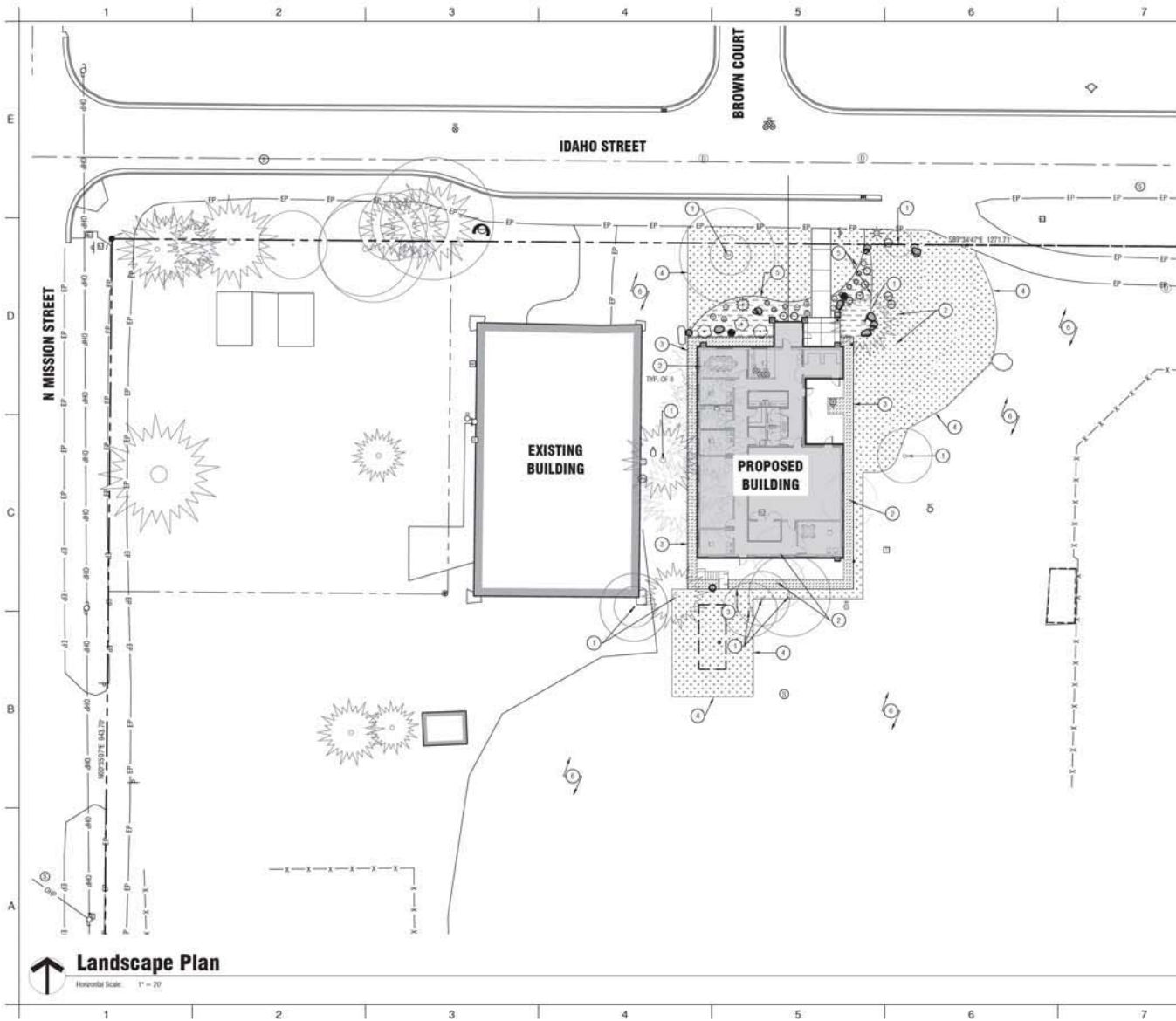
**MCCALL-DONNELLY SCHOOL DISTRICT
DISTRICT OFFICE**



DESIGN REVIEW
NOT FOR CONSTRUCTION

TOTAL BUILDING AREA: 4,000 SQ. FT.





Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTORS RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TREE PLANTERS SHALL BE GIVEN 2" LAYER OF DECORATIVE ROCK MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

Tree Protection Notes:

- A. PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE. (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
- AA. CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
- AB. DO NOT ALLOW COMPACTION OF EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
- AC. DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
- AD. DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
- AE. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-2" OF WATER OVER THE ENTIRE AREA PER WEEK.
- AF. DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
- AG. ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- B. PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE.
- BA. OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
- BB. PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- C. ALL TREES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED USING A 4" CALIBER TREE MATCHING SPECIES OF THE DAMAGED/DESTROYED TREE.

Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 10" AT PLANTER BEDS, 4" AT LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL, ZONE KIT AND 150 MESH FILTER (MIN).
- E. (ELECTRONIC WATER DISTRIBUTION) TIMING CONTROLLER ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - E.A. PRECISE INDIVIDUAL STATION TIMING
 - E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - E.D. SCHEDULED MULTIPLE CYCLES TO AVOID WATER BUNGE
 - E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE
AL	ARONIA MELANOCARPA 'SECONARIUM' TM / LOW SHADE MOUND BLACK CHERRYBERRY	5 GAL
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTERY' 'KARL FORSTERY' FEATHER REED GRASS	2 GAL
EB	ECHEVERIA X 'BUTTERFLY KISS' / BUTTERFLY KISSES CORNELIOWER	1 GAL
HB	HEUCHERA X 'BLACK BEAUTY' / BLACK BEAUTY CORAL BELLS	1 GAL
MD	MAHONIA AQUIFOLIUM COMPACTA / COMPACT OREGON GRAPE	5 GAL
PM	PRUNUS MUGO 'MCP3' / MCP3 MUGO PINE	5 GAL

Material Legend:



Keynotes:

- 1. RETAIN AND PROTECT EXISTING TREE
- 2. REMOVE EXISTING TREE
- 3. PERMANENT EROSION
- 4. CREATE SMOOTH TRANSITION BETWEEN EXISTING LAWN AND NEW SOIL
- 5. PLANTING BED CUT EDGE
- 6. RETAIN AND PROTECT EXISTING VEGETATION



DESIGN WEST ARCHITECTS, P.A.
 1000 W. 10TH AVENUE, SUITE 100
 SPOKANE, WASHINGTON
 WWW.DESIGNWESTPA.COM

DRAWN BY JMG/SR
 CHECKED BY MTA
 JOB NUMBER 21076

REVISIONS

--	--



MDSO DISTRICT OFFICE
 120 IDAHO ST.
 MCCALL, IDAHO 83638

DATE
11/23/21

SHEET NAME
Landscape Plan

SHEET
L1.00

Landscape Plan
 Horizontal Scale: 1" = 20'



NORTH 1



NORTH 2



SOUTH



EAST



WEST

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: McCall-Donnelly School District - New District Office Design Review
Location: 120 Idaho St.

2. Owner's Name: McCall-Donnelly School District
Street: 120 Idaho St. City: McCall
State: ID Zip Code: 83638 Phone: 208-631-2161

3. Project Description: Replace existing district office building with new 4,000 square feet office building in the same general location on the existing lot that is shared with the high school and other district buildings

a. Total property area, in acres. 16.82
b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. Roof, patio and concrete sidewalk = approx. 4,475 square feet

c. Describe existing vegetation present on site. Planter beds at north side of building with existing trees and lawn on all sides.


d. Start date of construction. TBD - Spring 2022
e. Estimated length of time to complete improvements. 8 months

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.

A B C D E F

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Travis Burrows</u>		<u>11/19/21</u>
Name	Title	Date
<u>216 SW. 5th Ave. Meridian, ID 83642</u>	<u>208-888-1768</u>	<u>208-890-7859</u>
Address	Daytime Phone	After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

Representative Title Signature Date

From: [Morgan Stroud](#)
To: [Jason Clay](#)
Cc: [Sergio Rangel](#); [Travis Burrows](#); [Jyl Glancey](#); [Bill Hamlin](#); [Brian Parker](#); [Meredith Todd](#)
Subject: DR21-40 - 120 Idaho St - Engineering Review #1
Date: Wednesday, December 29, 2021 12:04:01 PM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **DR21-40** and have the following comments and concerns.

1. Portions of the onsite stormwater main (remaining 12-inch sections) that runs through the site are undersized and will need to be replaced with a 30-inch diameter (or equivalent) pipe to match the conveyance characteristics of the newer 30-inch stormwater main on Idaho St. Per discussion with MDS staff, we understand a portion of the 12-inch onsite stormwater main was replaced in 2020 with a 24-inch main. It is possible for this 24-inch main to perform similarly to a 30-inch main in certain conditions, but this determination cannot be made without providing additional calculations. Information regarding how the 24 inch pipe will function in the overall system (the 30 inch pipe and the remaining 12 inch pipe still on the schools property) with 25 storm events and 100 year storm events will need to be detailed and calculations provided in the stormwater drainage report. This should also identify where any overflow (if anticipated) will occur and type of flow that is expected.
2. A Preliminary Stormwater Report was submitted with the application. It appears that the project will likely be able to comply with the City's Drainage Management Guidelines (DMGs) subject the following:
 - a. With the updated erosion control site plan, the total proposed impervious area for the project is identified to be approximately 5,116 square feet. Sections C and D of the Stormwater Management Plan Checklist Found in the DMG's will need to be added to the stormwater management report.
 - b. The Stormwater management report will need to be updated to provide appropriate information and calculations regarding the stormwater main that is referenced in #1 above.
 - c. Calculations regarding the infiltration trench and its volume capacity. Identifying if the infiltration trench will be enough to hold/treat the 1st flush storm water quality event (95% storm frequency).
 - d. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, and appropriate hydrographs and calculations.
3. If the parking lot to the west of the property is required to be paved. The Stormwater Drainage Report and applicable stormwater elements of the project will need to be updated and resubmitted for review and approval by the Public Works Department.
4. Information regarding the water meter and service line were not included. Is water usage anticipated to increase and require upsizing of the meter and service line?
5. More information regarding how pedestrians will be safely routed through the construction entrance and pathway along Idaho St is needed prior to approval of this location. The City would prefer that the existing paved driveway off of Mission Street would be utilized for construction to reduce the amount of potential conflicts with the public and construction activities. If Idaho Street is critical for construction, providing appropriate signage and other

pedestrian safety measures need to be identified. Additionally, if any contractor staging is intended to be permanently located within the Idaho Street parking spaces, that information should be provided.

Please feel free to contact me with any questions regarding the comments above. We look forward to working with you on revising your civil design submittal.

Thank you,

Morgan Stroud, E.I.T. | Staff Engineer

216 E Park Street | McCall | ID 83638

Direct: 208.634.3458 | Cell: 208.315.2299



City of McCall



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

December 8, 2021

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: DR-21-40, 120 Idaho Street

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. There is a sewer service connection for the existing structure and manholes in the area of construction, the sewer service connection and manholes shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
3. The owner/contractor shall notify the District two (2) business days before re-connection to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink that reads "Dale Caza".

Dale Caza
Manager, Payette Lakes Recreational Water and Sewer District
Email: dcaza@plrwsd.org

From: [Brian Parker](#)
To: [Meredith Todd](#)
Subject: FW: DR-21-40 120 Idaho Street School Admin Bldg
Date: Monday, January 3, 2022 8:29:46 AM
Attachments: [image001.png](#)
[image002.png](#)

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us
Blog: mccallcitysource.com
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)



Keeping citizens informed.

[Please click to sign up for CodeRED!](#)

From: Brent Snider Kathy Rogerson <sniderson@gmail.com>
Sent: Friday, December 31, 2021 12:21 PM
To: Brian Parker <bparker@mccall.id.us>
Subject: DR-21-40 120 Idaho Street School Admin Bldg

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings Brian, I am sending a note regarding the MS School District Administration Building new construction to replace the existing building. I am a permanent city resident at 704 Brown Drive. I can see the current admin building from my front yard. I have been searching the City of McCall website for design plans with no success. Briefly my only concern is adequate parking to accommodate for the plan to create more space for public meetings. I read in the local paper that the plans were for 54 additional people above the school staff number. Without having reviewed design plans I don't know if parking has been accounted for in this design. Current Idaho Street and Brown Drive parking spaces would not suffice for additional visitors to the Admin building for public meetings. Perhaps the plans include improved parking to the west of the current school maintenance building.

I am scheduled to be out of town the day of the meeting.

Thanks for you time and consideration,

McCall Area Planning and Zoning Commission
Staff Report
DR-21-41, SH-21-15
2252 Payette Drive

January 4, 2022

Applicant: Ken Desgarenes
Representative: Courtney Snyder & Luke Vannoy, McCall Design and Planning
Application: Design Review and Shoreline Review
Zoning District: R4 – Low Density Residential
Jurisdictional Area: Area of Impact

Description

An application for Design Review and Shoreline Environs Zone Review to construct a new, 1,491 square foot, detached shop/garage building, remodel and add a covered deck to an existing Accessory Dwelling Unit and remodel the existing primary residence.

Staff Analysis

Project Information

Zoning District: R4 – Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 0.96-acres (41,726 square-feet)

Proposed Use: Single-family residence

Dimensional Standards:

	Proposed	Required
Front Setback	114-feet, 6-inches	Greater than 20-feet
Rear Setback	100-feet, 0-inches	Greater than 20-feet*
Side Yard Setback 1	98-feet, 0-inches	Greater than 15-feet, 3-inches
Side Yard Setback 2	15-feet, 6-inches	Greater than 15-feet, 5-inches
Eave Height 1	23-feet, 6-inches	Less than 196-feet, 0-inches
Eave Height 2	23-feet, 6-inches	Less than 31-feet, 0-inches
Both Side Setbacks must add up to:	113-feet, 6-inches	Greater than 45-feet, 0-inches
Lot Coverage (square-feet)	7,954 square-feet	Less than 8,593 square-feet
Lot Coverage (percent)	17.8%	Less than 20.6%
Snow Storage	1,349 square-feet	Greater than 1,474 square-feet
Building Height	23-feet, 6-inches	Less than 35-feet
Structure Size	5,279 square-feet	Less than 10,000 square-feet

* Except where the 50-foot shoreline setback extends beyond the required rear setback.

Code Sections of Interest

- McCall City Code Section 3.3.09(C): Residential Zone Design Review Standards”

Residential Design Standards:

1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:

- a. The principal structure on the site is the dominant element.
- b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
- c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
- d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.

2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:

a. Materials:

i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.

ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.

iii. Metal when used in combination with natural materials.

b. Roofs:

i. Roofs that compliment and respond to the mountain setting and heavy snow environment.

ii. Hipped, pitched, shed and gabled roofs.

iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.

iv. Class A fire rated roof assemblies.

c. Exterior Color:

i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.

ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.

d. No blank walls shall face street frontages, including blank or unarticulated garage doors.

e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.

• McCall City Code Section 3.7.023(B): Requirements for Development:

(B) Permit Criteria: No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant

establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. The proposed development meets all applicable requirements of this title and title IX of this code.
2. The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard.
3. A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met; if a permit requirement is not met, the city may revoke its approval(s) under this title and title IX of this code.
4. The requirements of the underlying zone are met.
5. The fifty foot (50') building setback line is met per subsection (C)3(c) of this section.
6. Proof of stormwater certification training has been provided by the individual applying for the building permit.

- McCall City Code Section 3.7.023(C)(3)(c)(1): Requirements for Development:
There is hereby established a fifty feet (50') setback from the lake water pool shore contour and fifty feet (50') from the stream high water mark The setback shall be measured along a line perpendicular to a line tangent to the nearest point so determined on the lake water pool shore contour or stream high water mark, without regard to the spatial relationship between that nearest point and any boundary lines of the lot in question. All structures, perched beaches, lawns (except for native grasses identified in City of McCall publication, "Native and Suitable Plants"), patios, walls and fences shall be prohibited within the fifty foot (50') setback with the following exceptions: (1) structures addressed by subsection (C)4; and (2) public walkways to the waterfront, and private walkways not exceeding eight feet (8') in width.
- McCall City Code Section 3.8.15(B): Snow Storage and Drainage:
Required Area: Snow storage areas not less than thirty-three percent (33%) of the parking, sidewalk and driveway areas shall be incorporated into the site design.
- McCall City Code Section 3.11.05(A)(1): Nonconforming Structure:
No nonconforming structure may be enlarged or altered in a way which increases the nonconformity including volume, but any structure or portion may be altered to decrease its nonconformity.

- McCall City Code Section 3.16.07: Design Review Criteria:
The commission or administrator shall determine the following before approval is given:
 - (A) The project is in general conformance with the comprehensive plan.
 - (B) The project does not jeopardize the health, safety or welfare of the public.
 - (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.
 - (D) The project will have no substantial impact on adjacent properties or on the community at large.
 - (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
 - (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
 - (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites.

Staff Discussion

- The applicant is proposing to construct a new, 1,491 square foot, detached shop/garage building, remodel and add a covered deck to an existing Accessory Dwelling Unit and remodel the existing primary residence.
- The existing residential structure is located within the fifty-foot (50') shoreline setback. The applicant is proposing to make façade improvements to the structure by installing cedar shake shingles, exposed wooden beams, new siding, and new railings along the deck. No expansion of the existing structure is proposed. As the proposed modifications to the existing structure are more consistent with the McCall Design Guidelines than the current style, it is staff's opinion that the proposed modifications will result in a decrease in nonconformity of the primary residence.
- The landscape plan, dated November 23, 2021, shows a landing for the walkway to the lake which is greater than eight-feet (8') in width located within the fifty-foot (50') shoreline setback area. McCall City Code Section 3.7.023(C)(3)(c)(1) prohibits walkways greater than eight-feet (8') in width within the shoreline setback area. Prior to the issuance of a building permit, the applicant should provide a revised site plan with no portion of the walkway within the fifty-foot (50') shoreline setback area wider than eight-feet (8') in width.
- The landscape plan, dated November 23, 2021, shows 1,349 square-feet of snow storage located on site and 4,423 square-feet of driveway area. McCall City Code Section 3.8.15(B) requires a minimum of 1/3 of all parking, sidewalk, and driveway area to be designated as snow storage. Prior to the issuance of a building permit, the applicant should provide a revised landscape plan showing a minimum of 1,474 square-feet of snow storage area.

Comments

Agency –

McCall Public Works

In an email dated December 20, 2021, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR21-41** and have the following comments and concerns.

1. Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin area sizing, and appropriate hydrographs and calculations.
 - b. Please provide information regarding existing stormwater conveyances for the existing structures and patio spaces on the property and how the proposed stormwater facilities will interact with them. If there are no existing facilities please show how the stormwater from these structures is being handled in your updated report and plans.
2. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
3. The grading, drainage and landscaping plan that were submitted for review do not provide contours or information south of the proposed buildings where stormwater improvements are being proposed. It is unclear how the proposed improvements will interact or effect the existing trees and vegetation.
4. Payette Drive is not City owned and is located within the County. The applicant will need to obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated December 8, 2021.

Big Payette Lake Water Quality Council (BPLWQC)

In an email dated December 13, 2021, the BPLWQC had the following comments:

This project presents P & Z with it's (sic) biggest challenges; overseeing an extensive development directly on the shores of Payette Lake. The opportunity for pollution going directly into the lake is considerable. All precautions must be taken to divert stormwater run-off into Payette Lake during construction and after. The cabin sits very close and on a steep slope to the water. Please follow the Lake-A-Syst recommendations (City of McCall has this) for controlling potential erosion. Natural

vegetation and native plants are recommended as landscaping tools to slow/prevent erosion. Hardscapes like boulders and cement paths are discouraged.

Public –

Letter received by Robin and Jonathan Carter, dated December 26, 2021, expressing concerns.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall provide a revised site plan with no portion of the walkway within the fifty-foot (50') shoreline setback area wider than eight-feet (8') in width.
3. Prior to the issuance of a building permit, the applicant shall provide a revised landscape plan showing a minimum of 1,474 square-feet of snow storage area.
4. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

IN RE:)
)
DESGARENES GARAGE)
Design Review and Shoreline)
Environs Overlay Review)
)
)
Application Number:)
DR-21-41, SH-21-15)

**McCALL AREA PLANNING AND ZONING COMMISSION
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
DECISION**

FINDINGS OF FACTS

Applicant: Ken Desgarenes

Representative: Courtney Snyder & Luke Vannoy, McCall Design and Planning

Application: Luke Vannoy for Ken Desgarenes: An application for Design Review and Shoreline Environs Zone Review to construct a new, 1,491 square foot, detached shop/garage building, remodel and add a covered deck to an existing Accessory Dwelling Unit and remodel the existing primary residence.

Address: 2252 Payette Drive

Location: Lot 56 and the W ½ of Lot 57 of the Amended Plat of the Payette Lake Cottage Sites, situate in the SE ½ of the W ½ of Section 33, T19N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on December 16, 2021.
Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on December 15, 2021.
Posting: The Notice of Hearing was posted by the applicant on the subject property on December 15, 2021.

Zoning: R4 – Low Density Residential

Property Size: 0.96-acres (41,726 square-feet)

Setbacks:

	Proposed	Required
Front Setback	114-feet, 6-inches	Greater than 20-feet
Rear Setback	100-feet, 0-inches	Greater than 20-feet
Side Yard Setback 1	98-feet, 0-inches	Greater than 15-feet, 3-inches
Side Yard Setback 2	15-feet, 6-inches	Greater than 15-feet, 5-inches
Eave Height 1	23-feet, 6-inches	Less than 196-feet, 0-inches
Eave Height 2	23-feet, 6-inches	Less than 31-feet, 0-inches
Both Side Setbacks must add up to:	113-feet, 6-inches	Greater than 45-feet, 0-inches
Lot Coverage (square-feet)	7,954 square-feet	Less than 8,593 square-feet
Lot Coverage (percent)	17.8%	Less than 20.6%
Snow Storage	1,349 square-feet	Greater than 1,474 square-feet
Building Height	23-feet, 6-inches	Less than 35-feet
Structure Size	5,279 square-feet	Less than 10,000 square-feet

Parking Spaces: Provided: 2+ spaces

Required: 2 spaces per MCC 3.8.062

APPROVAL STANDARDS

MCC 3.7.02 Shoreline and River Environs Zone

No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. **The proposed development meets all applicable requirements of this title and title IX of this code.** The proposed site plan and structure meet the applicable requirements of MCC Title 3, Chapter 7, Chapter 8, and Title 9.
2. **The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard. The site plan indicates the Water Pool Shore Contour elevation.** The water pool contour line is indicated on the site plan.
3. **A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met.** It appears that a 404 permit will not be necessary although the City reserves the right to require this at a later date if it becomes necessary.
4. **The requirements of the underlying zone are met.** The proposed garage meet the requirements of the Shoreline Zone and R4-Low Density Residential Zone.
5. **The fifty-foot (50') building setback line is met per subsection (C)3(c) of this section.** The fifty foot (50') building setback for properties within the Shoreline and River Environs Zone is indicated on the submitted site plan. The proposed garage is located outside of this setback. No expansion to the existing structure located within the fifty-foot (50') setback area are proposed. The proposed modifications to the exterior of the existing structure will decrease nonconformity because the proposal utilizes natural materials and is generally consistent with McCall Design Guidelines.

6. **Proof of stormwater certification training has been provided by the individual applying for the building permit.** Proof of stormwater certification is required prior to issuance of a building permit.
7. **The Commission determined whether the proposed development, improvement or use:**
 - a. **Dominates the vistas of the water to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed garage is consistent with other residences in the neighborhood.
 - b. **Is compatible in form, line, color and texture with its surroundings.** The proposed garage is compatible in form, line, color and texture because it utilizes natural colors and materials and is designed similarly the primary residence.
 - c. **Significantly differs in scale or contrast from its surroundings to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed garage meets the dimensional standards of the zone and is designed to minimize the difference between the site's topography and the built form. Therefore, the proposed residence does not differ in scale or contrast from its surroundings.
 - d. **Creates a wall of structures as viewed from the water.** The existing residence is adjacent to the lake and creates the appearance of a wall of structure from the lake, but the proposed modifications will decrease the nonconformity.

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.

4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed garage is primarily located on already disturbed area.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed garage is similar in design and scale to the primary residence.
2. **Building Design**
 - a. **Materials:** The proposed garage is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed garage will utilize asphalt shingle roofing.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the street facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The applicant has worked with the City Arborist to minimize the number of significant trees to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.

3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Payette Drive, a private street.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping meets the requirements of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage has been identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed addition is compatible with classic McCall styles.

2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** N/A
8. **Exterior Doorways:** N/A
9. **Wall Materials:** Exterior wall materials include wood and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall's Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and is well screened from Payette Drive.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage has been identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A

13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** The applicant has worked with the City Arborist to preserve existing trees.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No historic residences are impacted by this application.
2. **Preserve human scale in residential character:** The proposed garage is modestly sized and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed garage utilizes natural colors and materials, and is adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence uses less than the maximum allowable lot coverage and therefore provides adequate open space.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.

8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

In an email dated December 20, 2021, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR21-41** and have the following comments and concerns.

1. Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
2. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin area sizing, and appropriate hydrographs and calculations.
3. Please provide information regarding existing stormwater conveyances for the existing structures and patio spaces on the property and how the proposed stormwater facilities will interact with them. If there are no existing facilities please show how the stormwater from these structures is being handled in your updated report and plans.
4. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
5. The grading, drainage and landscaping plan that were submitted for review do not provide contours or information south of the proposed buildings where stormwater improvements are

being proposed. It is unclear how the proposed improvements will interact or effect the existing trees and vegetation.

- a. Payette Drive is not City owned and is located within the County. The applicant will need to obtain necessary permits regarding the driveway from the County prior to construction activities commencing.
- b. Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated December 8, 2021.

Big Payette Lake Water Quality Council (BPLWQC)

In an email dated December 13, 2021, the BPLWQC had the following comments:

This project presents P & Z with it's (sic) biggest challenges; overseeing an extensive development directly on the shores of Payette Lake. The opportunity for pollution going directly into the lake is considerable. All precautions must be taken to divert stormwater run-off into Payette Lake during construction and after. The cabin sits very close and on a steep slope to the water. Please follow the Lake-A-Syst recommendations (City of McCall has this) for controlling potential erosion. Natural vegetation and native plants are recommended as landscaping tools to slow/prevent erosion. Hardscapes like boulders and cement paths are discouraged.

Public –

Letter received by Robin and Jonathan Carter, dated December 26, 2021, expressing concerns.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the January 4, 2021 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall provide a revised site plan with no portion of the walkway within the fifty-foot (50') shoreline setback area wider than eight-feet (8') in width.
3. Prior to the issuance of a building permit, the applicant shall provide a revised landscape plan showing a minimum of 1,474 square-feet of snow storage area.
4. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 4th day of JANUARY, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received:

11/26/2021

Fees Paid:

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ **\$350** Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ **\$300** Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Ken Desgarenes Email: _____

Mailing Address: _____ Phone: _____

Property Owner 2 (If Applicable): _____ Email: _____

Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Courtney Snyder & Luke Vannoy Email: courtney@mccalldp.com & luke@mccalldp.com

Mailing Address: PO BOX 729 McCall, ID Phone: 208.634.5707

PROPERTY INFORMATION

Address(es) of Property: 2252 Payette Drive

Legal Description of Property: AMENDED PAYETTE LAKE COTTAGE SITES LOT 56; W/2 LOT 57

Zoning District of Property: R4 Project Sq. Footage (If Applicable): New Detached garage: 1491SF
New covered deck/ entry: 498SF

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

To construct a new 1491 SF detached shop building, do a remodel & deck addition to an existing accessory dwelling, and remodel the existing home.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

Property Owner 1

Signature

Property Owner 2 *(If Applicable)*

Courtney Snyder

Agent/Authorized Representative



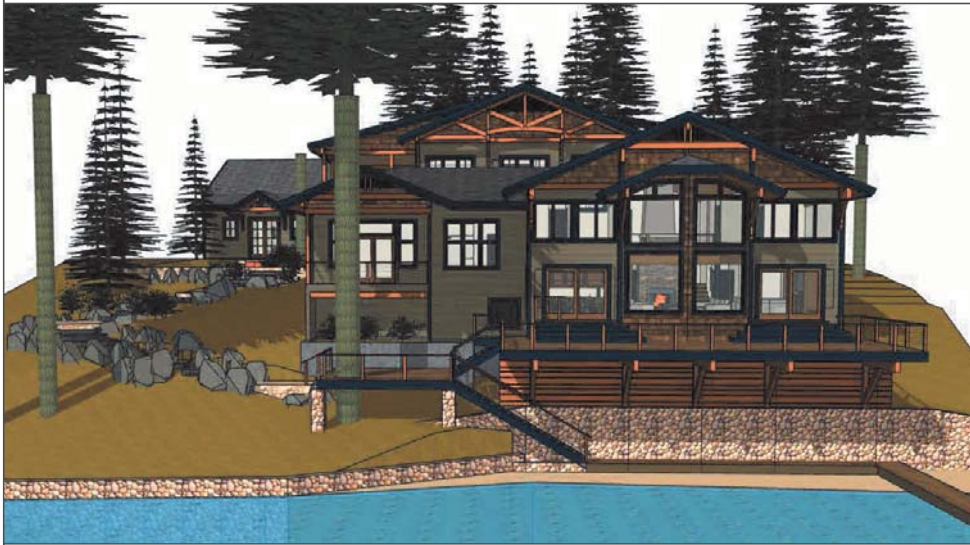
FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

KEN DESGARENNES REMODEL & SHOP BUILDING 2252 PAYETTE DRIVE



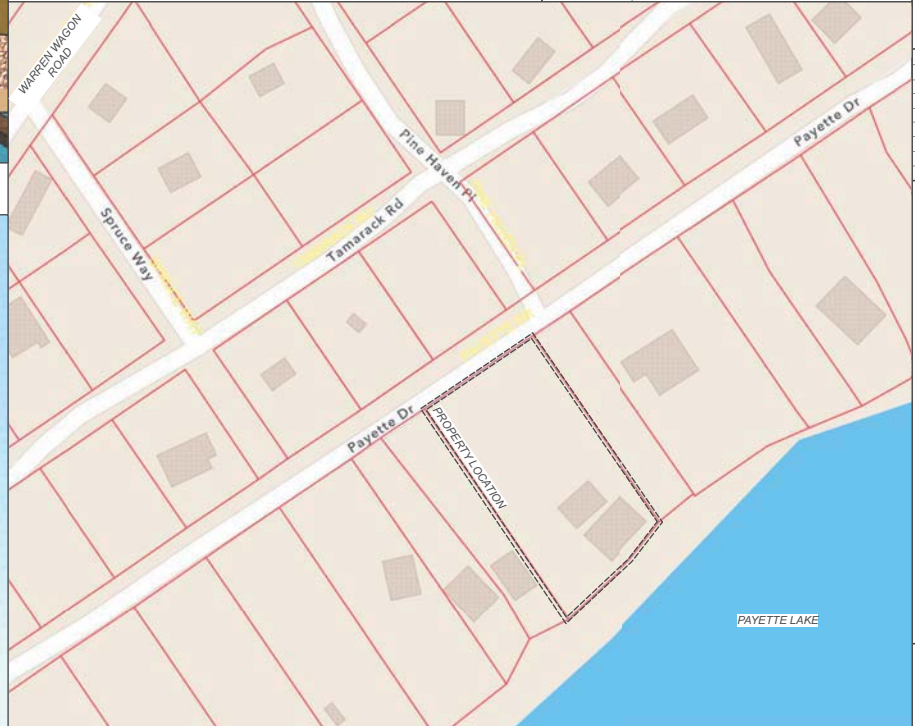
EAST VIEW
NOT TO SCALE



AERIAL 3D
NOT TO SCALE

LOT COVERAGE CALCULATION			
	SF	%	TOTAL
	41730.48	0.20	8346 ALLOWABLE
A - BLDG. FOOTPRINT			
X'STNG HOUSE	1790.00	1.00	1790.00 A
X'STNG COVERED DECK/PATIO	197.00	1.00	197.00 A
NEW GARAGE	1491.00	1.00	1491.00 A
NEW COVERED DECK & ENTRY	561.00	1.00	561.00 A
X'STNG GARAGE	936.00	1.00	936.00 A
	TOTAL A		4975.00
B - DECKS, PATIOS, WALKWAYS			
EXIST'G DECKS & PATIOS	1479.00	0.50	739.50 B
NEW PATIO & WALKWAY	1383.00	0.50	691.50 B
	TOTAL B		1431.00
C - DRIVES, WALKS, PARKING			
EXIST'G DRIVE (REVEGETATE)	4381.00	0.35	1533.35 C
NEW DRIVEWAY	4423.00	0.35	1548.05 C
	TOTAL C		1548.05
	A + B + C =		7954.05 TOTAL

DRAWING INDEX	
SHEET	NAME
DR1	Cover Sheet
DR2	Site Plan
DR3	Landscape Plan
DR4	Site Photos
DR5	House Plans
DR6	ADU/ Garage plans
DR7	New Shop Plans
DR8	Elevations/3D's
DR9	Materials



VICINITY MAP
NOT TO SCALE

SITE AND CLIMATE SPECIFIC ARCHITECTURE

McCALL DESIGN & PLANNING

PO Box 729
 McCall, IDAHO 83638
 208-634-5707

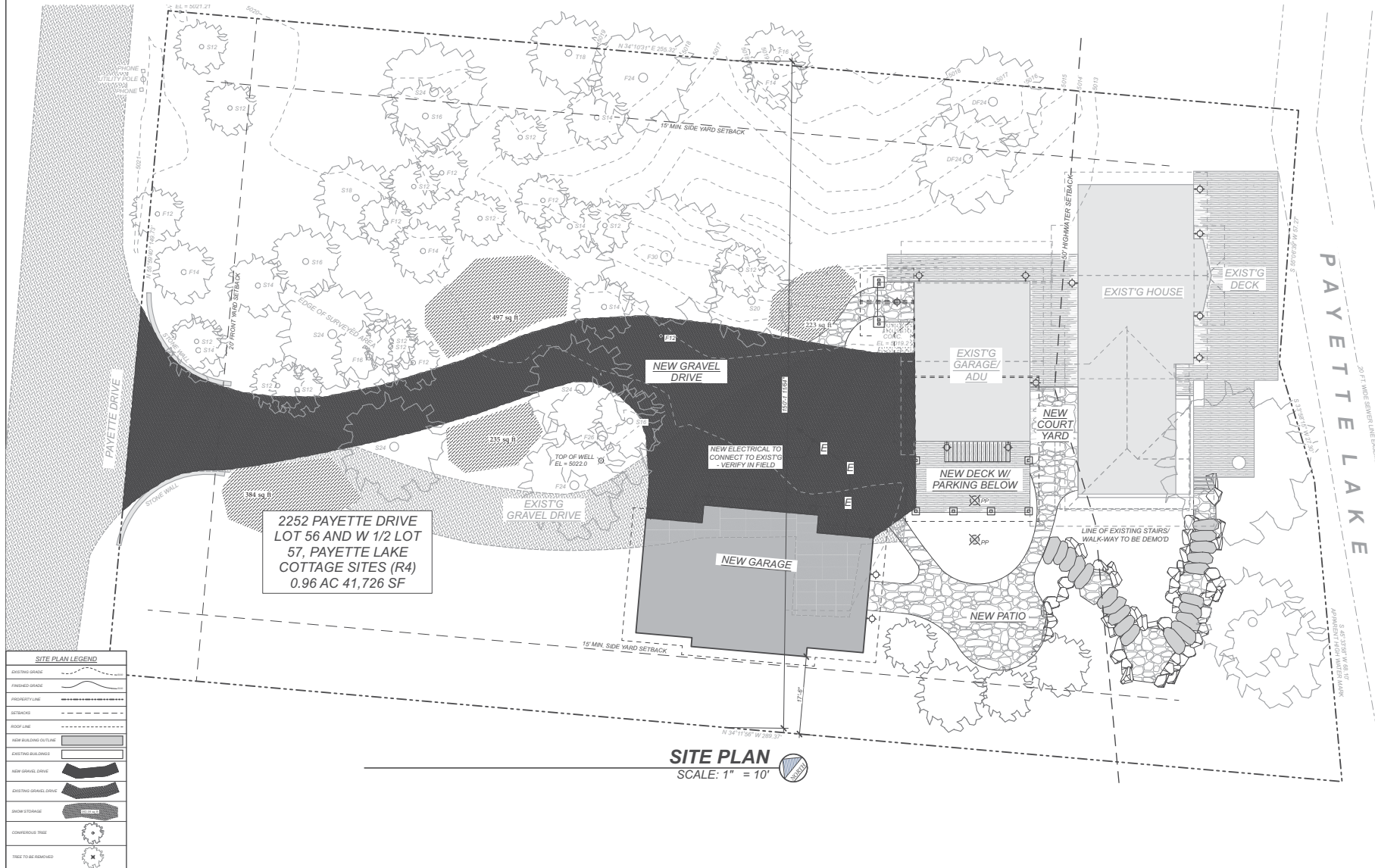
DATE: 11/23/21

DRAWN BY: CS, HSS & LAV

PRELIMINARY - NOT FOR CONSTRUCTION

KEN DESGARENNES
 LAKE HOUSE REMODEL
 2252 PAYETTE DRIVE,
 McCall, VALLEY COUNTY

DR1



SITE PLAN
SCALE: 1" = 10'

mbi
SITE AND CLIMATE SPECIFIC ARCHITECTURE

© 2021 MDPI

KEN DESGARENNES
LAKE HOUSE REMODEL
2252 PAYETTE DRIVE,
McCALL, VALLEY COUNTY

McCALL DESIGN & PLANNING
PO Box 729
McCALL, IDAHO 83638
208-634-5707
SUSEMIHL - VANNOY

DATE: 11/23/21

DRAWN BY: CS, HSS & LAV

PRELIMINARY - NOT FOR CONSTRUCTION

DR2

OUTDOOR LIGHTING LEGEND

- ◊ E10w SURFACE MOUNTED LIGHT (UNDER ROOF OR DECK)
- ◊ E10w WALL MOUNTED SCENCE W/ FULL CUTOFF LUMINAIRE
- ⊕ S12w SITE POST LIGHT W/ OPAQUE TOP (24" TALL)
- ⊕ S12w NOTE: ALL OUTDOOR LIGHTING TO CONFORM W TITLE 9, CHAPTER 14, MCCALL CITY CODE



ERLEMEYER DARK SKY OUTDOOR WALL SCENCE OR SIM.



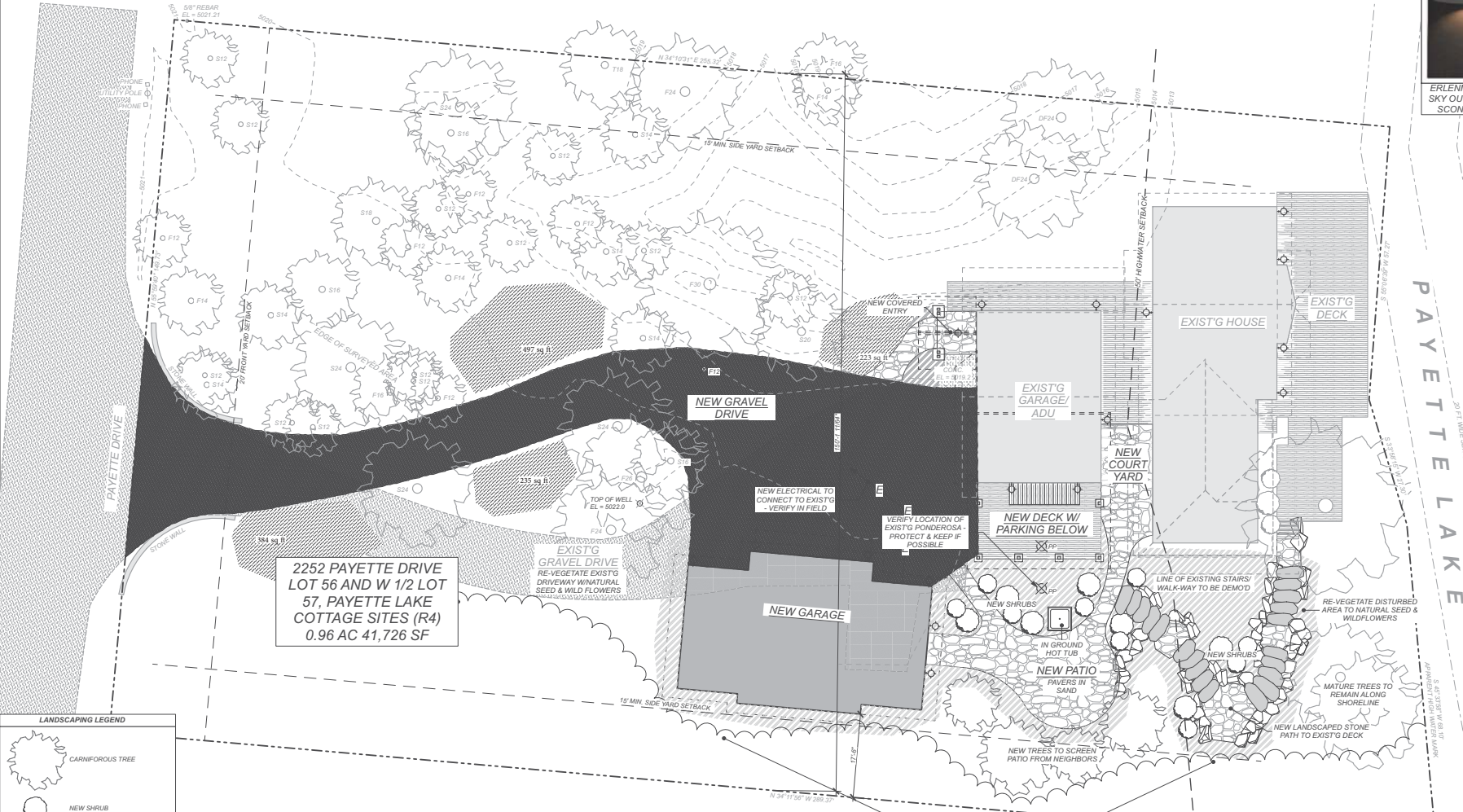
MCCALL DESIGN & PLANNING
 PO Box 729
 MCCALL, IDAHO 83638
 208-634-5707

DATE: 11/23/21
 DRAWN BY: CS, HSS & LAV

PRELIMINARY - NOT FOR CONSTRUCTION

KEN DESGARENNES
 LAKE HOUSE REMODEL
 2252 PAYETTE DRIVE,
 MCCALL, VALLEY COUNTY

DR3



LANDSCAPING LEGEND

- CARNIFOROUS TREE
- NEW SHRUB
- EXIST'G TREE - SPECIES, & DIAMETER IN INCHES
- DEMO TREE - SPECIES, & DIAMETER IN INCHES
- PERENNIAL GROUNDCOVER
- BOULDER
- STONE STEP PATH

LANDSCAPING PLAN
 SCALE: 1" = 10'



LAKESIDE VIEW OF EXIST'G HOME



EXIST'G GARAGE/ADU TO BE REMODELED



EXIST'G DRIVEWAY TO GARAGE - SEE PLAN FOR PROPOSED NEW DRIVEWAY



NORTHEAST VIEW OF EXIST'G HOUSE

EXIST'G ENTRY TO BE REMODELED



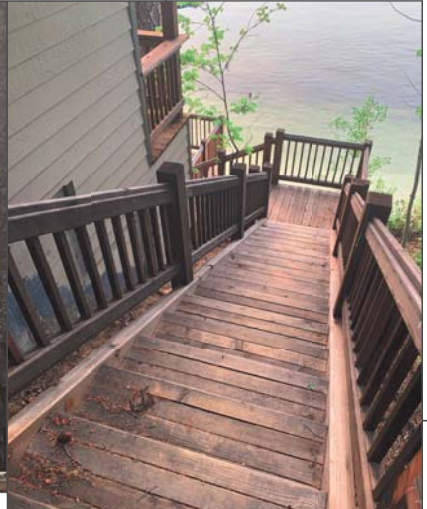
EXIST'G GARAGE/ADU - LOCATION OF NEW PROPOSED DECK



EXIST'G DECK/ WALK-WAY TO BE REMOVED FOR PROPOSED LANDSCAPED PATIO & WALK

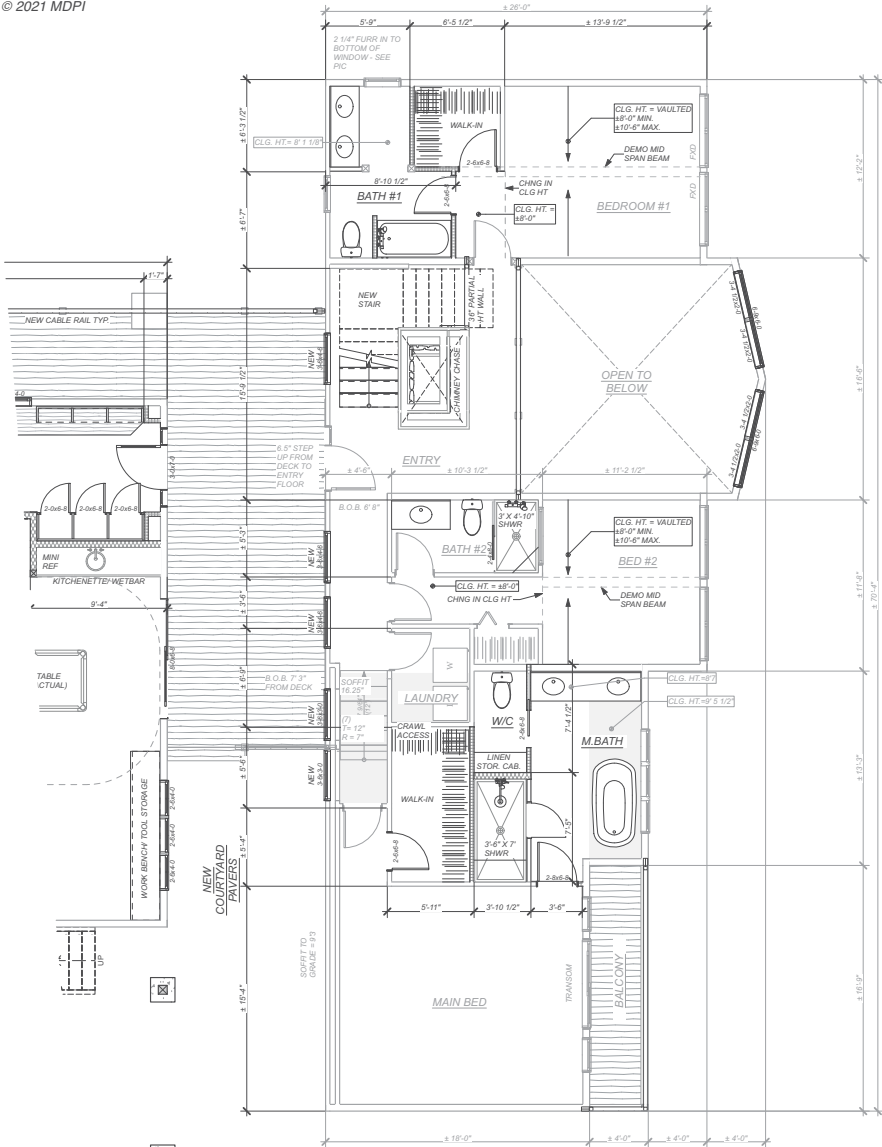


EXIST'G DECK TO REMAIN - RAILING & DECKING TO BE REDONE - BRING RAILING UP TO CODE.

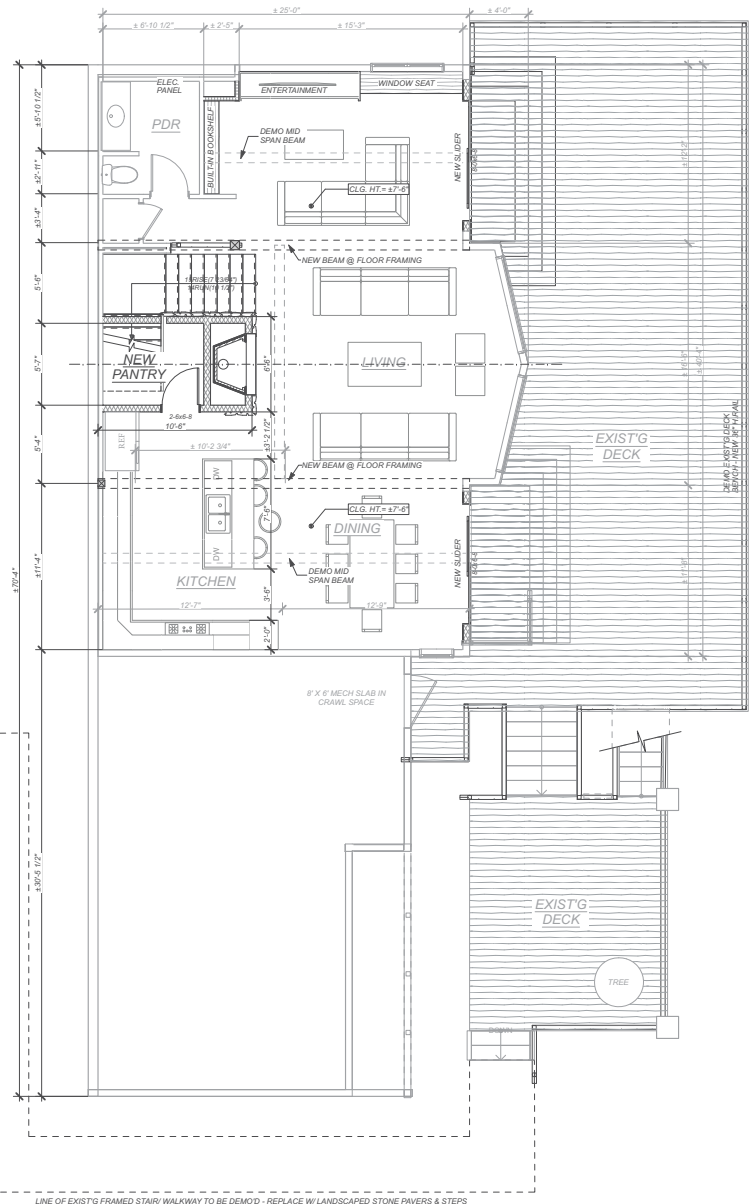


EXIST'G STAIR ALONG SOUTH SIDE OF HOME TO BE REMOVED


mcbi
MCCALL DESIGN & PLANNING
PO Box 729
MCCALL, IDAHO 83638
208-634-5707
SUSEMIHL - VANNOY
DATE: 11/23/21
DRAWN BY: CS, HSS & LAV
PRELIMINARY - NOT FOR CONSTRUCTION
KEN DESGARENNES
LAKE HOUSE REMODEL
2252 PAYETTE DRIVE,
MCCALL, VALLEY COUNTY
DR4



UPPER FLOOR-PROPOSED
SCALE: 1/4" = 1'-0"

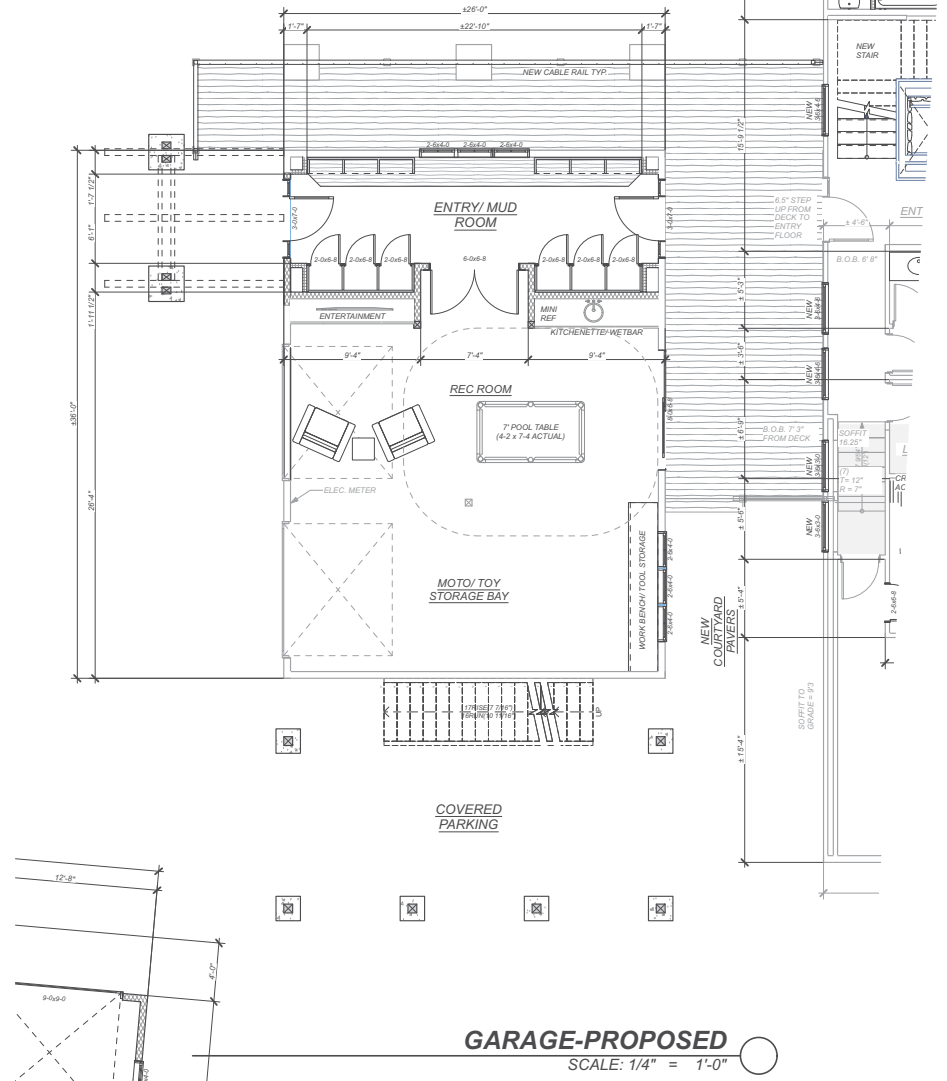
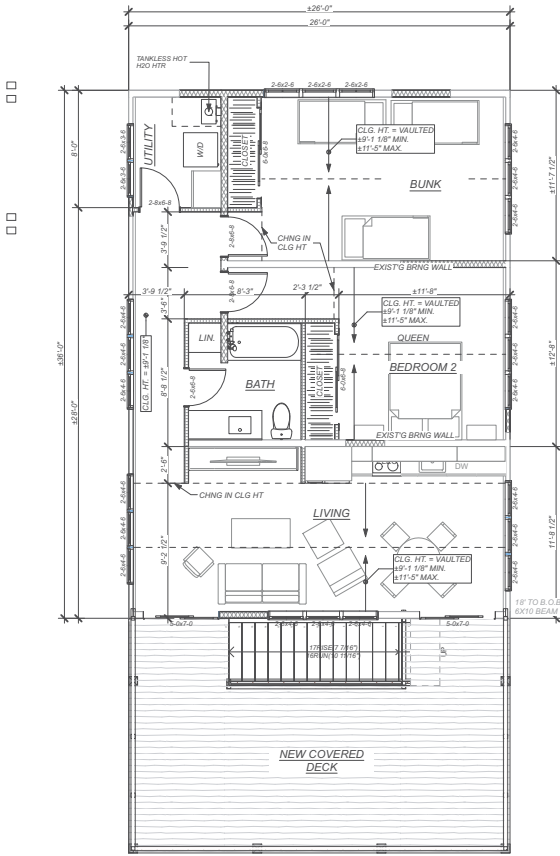


MAIN FLOOR PLAN-PROPOSED
SCALE: 1/4" = 1'-0"


 SITE AND CLIMATE RECOGNITION ARCHITECTURE
 © 2021 MDPI

McCALL DESIGN & PLANNING
 PO Box 729
 McCall, IDAHO 83638
 208-634-5707
 SUSEMIHL - VANNOY

DATE: 11/23/21
 DRAWN BY: CS, HSS & LAV
 PRELIMINARY - NOT FOR CONSTRUCTION
 KEN DESGARENNES
 LAKE HOUSE REMODEL
 2252 PAYETTE DRIVE,
 McCall, VALLEY COUNTY
DR5



mcbi
SITE AND CLIMATE SPECIFIC ARCHITECTURE
© 2021 MDPI

McCALL DESIGN & PLANNING
PO Box 729
McCALL, IDAHO 83638
208-634-5707
SUSEMIHL - VANNY

DATE: 11/23/21

DRAWN BY: CS, HSS & LAV

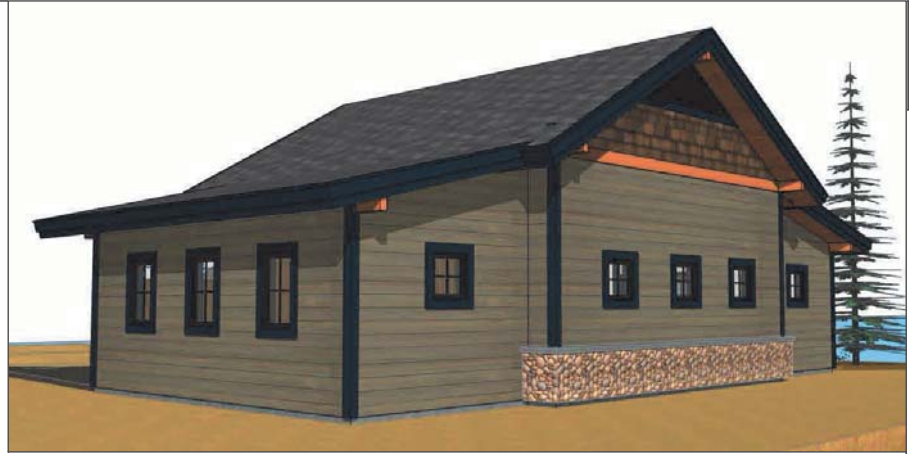
PRELIMINARY - NOT FOR CONSTRUCTION

KEN DESGARENNE
LAKE HOUSE REMODEL
2252 PAYETTE DRIVE,
McCALL, VALLEY COUNTY

DR6



NORTHWEST VIEW



SOUTHWEST VIEW



SOUTHEAST VIEW



NORTHEAST VIEW



SOUTH VIEW



NORTH VIEW

mbi
 SITE AND CLIMATE SPECIFIC ARCHITECTURE
 © 2021 MDP/PC
 SUSEMIHL - VANNOY
 McCALL DESIGN & PLANNING®
 PO Box 729
 McCALL, IDAHO 83638
 208-634-5707

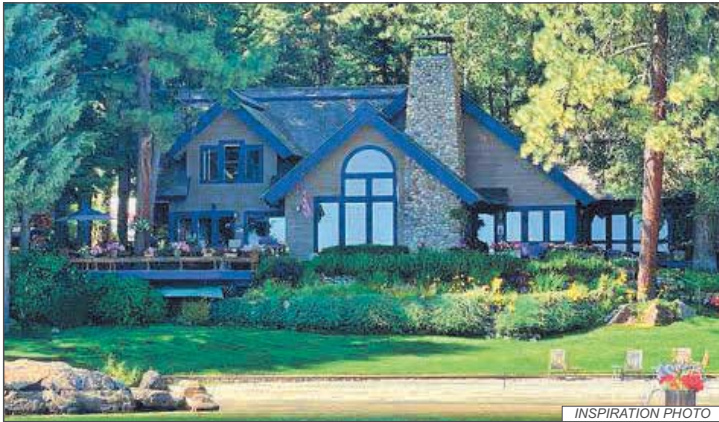
DATE: 11/23/21

DRAWN BY: CS, HSS & LAV

PRELIMINARY - NOT FOR CONSTRUCTION

KEN DESGARENNES
 LAKE HOUSE REMODEL
 2252 PAYETTE DRIVE,
 McCALL, VALLEY COUNTY

DR8



INSPIRATION PHOTO



INSPIRATION PHOTO



EXIST'S STONE - MATCH @ NEW ENTRY COLUMNS, DECK COLUMNS & SHOP WAINSCOT



NEW CABLE RAIL

EAST VIEW



CABOT'S STAIN
'CALVARY' OR SIM
BEAMS, POSTS & ACCENTS



CABOT'S STAIN
'NEWBURYPORT BLUE' OR SIM
FASCIA, WINDOW & DOOR TRIM AND CORNER TRIM



CEDAR SHINGLES
'NATURAL STAIN'



MONTANA TIMBER
'SHALE' OR SIM
HORIZONTAL SIDING



ASPHALT SHINGLES - MATCH EXIST'G HOUSE & ADU



WEST VIEW

mbi
MCCALL DESIGN & PLANNING
PO Box 729
MCCALL, IDAHO 83638
208-634-5707
SUSEMIHL - VANNOY

DATE: 11/23/21
DRAWN BY: CS, HSS & LAV

PRELIMINARY - NOT FOR CONSTRUCTION

KEN DESGARENNES
LAKE HOUSE REMODEL
2252 PAYETTE DRIVE,
MCCALL, VALLEY COUNTY

DR9

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: Ken Desgarenes Lake House Remodel
Location: 2252 Payette Drive, McCall, ID 83638

2. Owner's Name: Ken and Pam Desgarenes
Street: 19423 West 52nd Drive City: Golden
State: CO Zip Code: 80403 Phone: (303) 931-2963

3. Project Description: The project consists of the remodel of the existing house and garage as well as the construction of a new garage. The existing gravel driveway will be replaced with a new gravel driveway.

 - a. Total property area, in acres. 0.91 Acres
 - b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. The existing impervious surface area is 2,847.1 S.F. (0.06 acres). Upon completion there will be 5,179.0 S.F. (0.12 acres) of impervious surface area.
 - c. Describe existing vegetation present on site. The site consists predominately of spruce and fir trees with some existing landscaping.
 - d. Start date of construction. Spring/Summer 2022
 - e. Estimated length of time to complete improvements. 6-12 Months

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.
A X B X C X D X E ___ F X

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Kenny Pyle</u>	<u>Contractor</u>		
Name	Title	Signature	Date
<u>100 Helmick Street, McCall, ID 83638</u>		<u>(208) 634-9226</u>	
Address		Daytime Phone	After Hours Phone

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

Representative	Title	Signature	Date
----------------	-------	-----------	------



CRESTLINE ENGINEERS, INC.
 CIVIL ENGINEERING CONSULTANTS
 323 DEINHARD LANE, SUITE C
 PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 · 208.634-4146 FAX

PROJECT: Ken Desgarenes Lake House Remodel

CLIENT: McCall Design & Planning

JOB NO.: 21065 **DATE:** October 28, 2021

BY: AMD

REVISION DATE: _____

RE: Ken Desgarenes Lake House Remodel - Stormwater Calculations

Drainage Area Calculations

Drainage Areas	(ft²)	(Acres)
Total Property Area/Boundary	39,551.7	0.91
Development Area	39,551.7	0.91

Pre-Development: Development Area Surfaces	(ft²)	(Acres)	(%)
Building Roofs (CN = 98)	2,747.7	0.06	6.95%
Concrete Pad (CN = 98)	99.4	0.00	0.25%
Wood Deck/Stairs (CN = 89)	2,113.6	0.05	5.34%
Gravel Driveway (CN = 89)	4,306.7	0.10	10.89%
Open Space (CN = 79)	30,284.3	0.70	76.57%
	39,551.7	0.91	100.00%

Total Impervious Surface Area = 2,847.1 0.06 7.20%

Post Development: Development Area Surfaces (At Build-out)	(ft²)	(Acres)	(%)
Building Roofs (CN = 98)	5,127.4	0.12	12.96%
Concrete Pad (CN = 98)	51.6	0.00	0.13%
Gravel Driveway (CN = 89)	4,299.4	0.10	10.87%
Wood Deck (CN = 89)	1,695.9	0.04	4.29%
Paver Patio/Walkway (CN = 89)	1,406.0	0.03	3.55%
Open Space (CN = 79)	26,971.4	0.62	68.19%
	39,551.7	0.91	100.00%

Total Impervious Surface Area = 5,179.0 0.12 13.09%

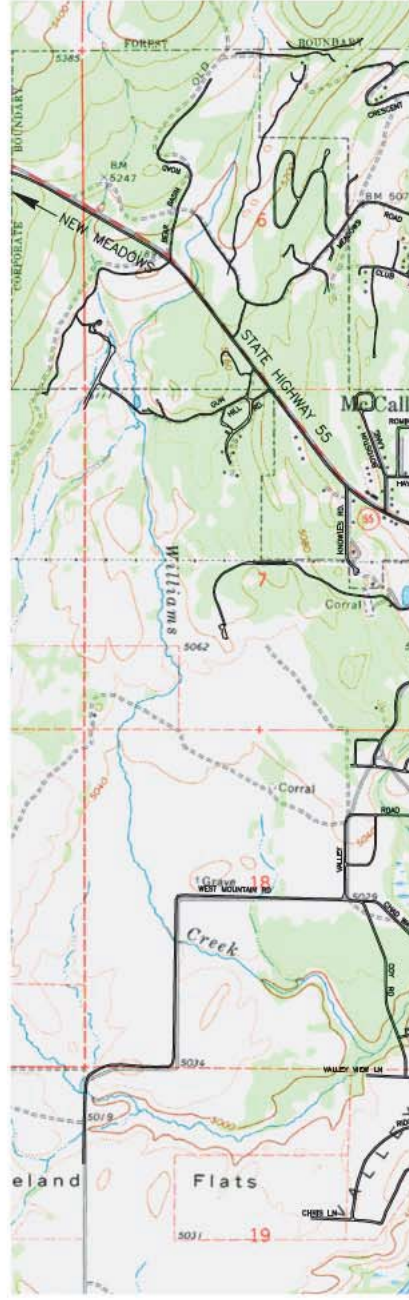
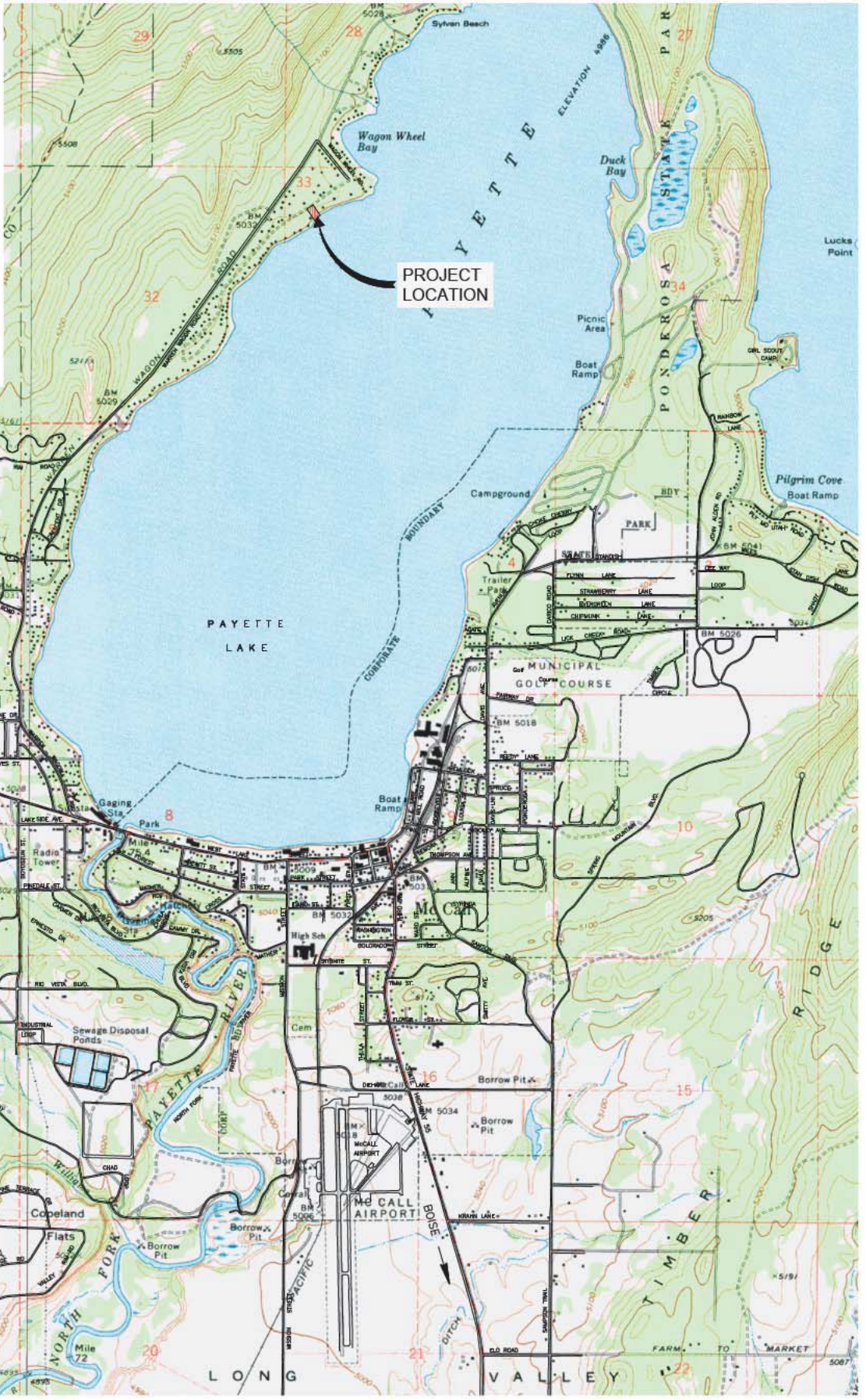
Drainage Area Flow Paths

	Length	Elevation Change	Slope
Pre-Development Flow Path:	(ft)	(ft)	(%)
1. Sheet Flow (n = 0.011, Smooth Surface - Gravel)	41.9	2.5	6.00%
2. Sheet Flow (n = 0.24, Grass - Dense Grasses)	78.7	4.7	6.00%
3. Sheet Flow (n = 0.24, Grass - Dense Grasses)	157.9	25.0	15.83%

Total Length/Average Slope = 278.6 32.2 11.57%

	Length	Elevation Change	Slope
Post Development Flow Path:	(ft)	(ft)	(%)
1. Sheet Flow (n = 0.011, Smooth Surface - Gravel)	117.5	7.0	6.00%
2. Sheet Flow (n = 0.24, Grass - Dense Grasses)	39.8	6.3	15.72%

Total Length/Average Slope = 157.3 0.5 0.29%



NORTH
SCALE: 1" = 3000'

CRESTLINE
ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

**KEN DESGARENNES LAKE HOUSE
REMODEL
VICINITY MAP**

PROJECT	21065	DRAWN	FIGURE NO.
DATE	10/28/2021	AMD	1 OF 1

NOTES:

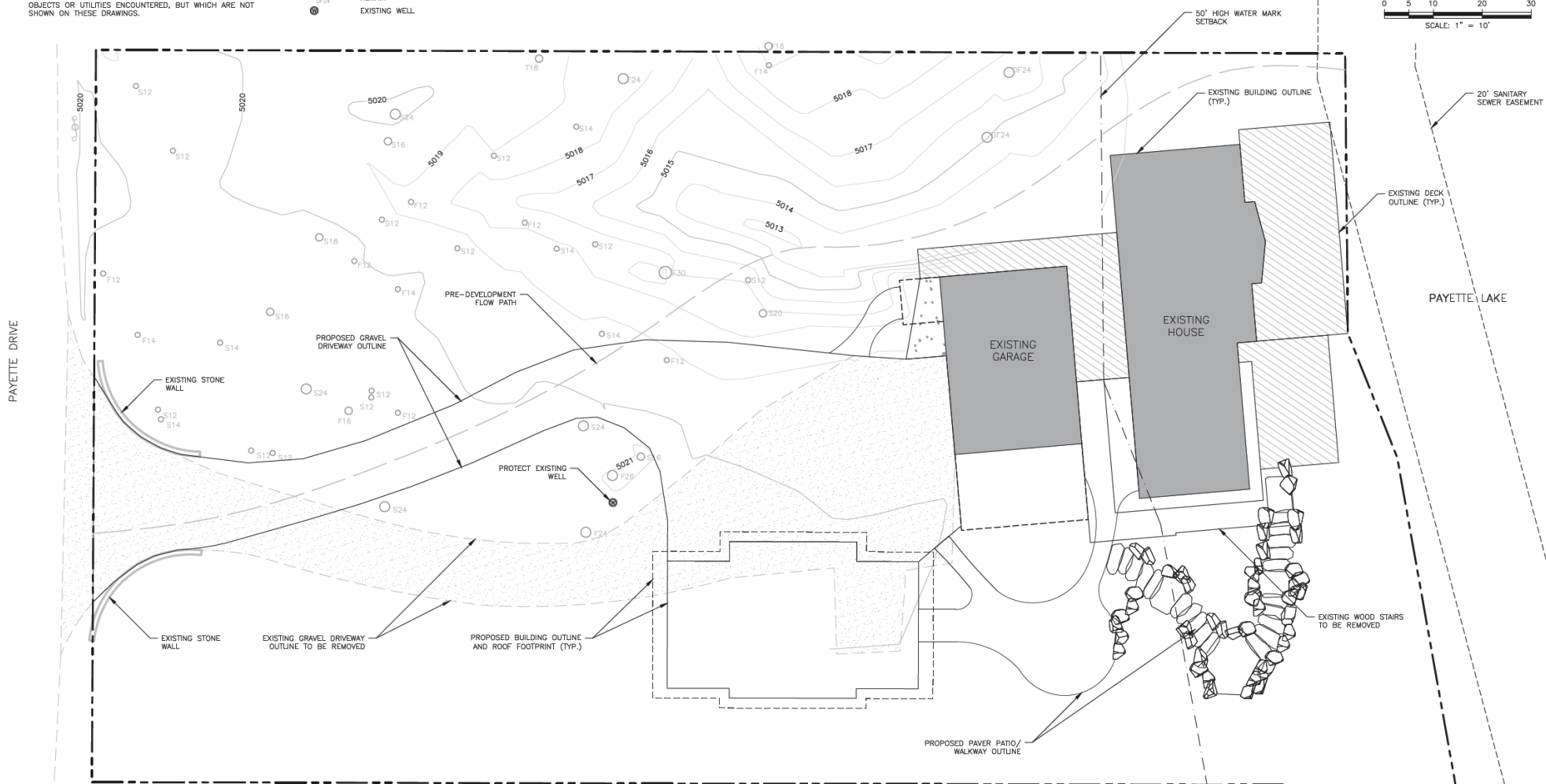
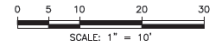
- EXISTING TOPOGRAPHY AND PROPERTY BOUNDARIES AS SHOWN ON THIS PLAN ARE BASED UPON SURVEY DATA PROVIDED BY DROULARD LAND SURVEYING, INC. PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN ARE BASED UPON DRAWINGS PROVIDED BY McCALL DESIGN & PLANNING, INC.
- THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE EXISTENCE OF OBJECTS OR UTILITIES ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

LEGEND:

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- EXISTING ROOF AREA
- EXISTING DECK AREA
- EXISTING CONCRETE AREA
- EXISTING GRAVEL DRIVEWAY TO BE REMOVED
- EXISTING TREE W/DIA. IN INCHES TO REMAIN
- EXISTING WELL



NORTH



File Name: 2005_P:\Projects\mccall\mccall\KenDesGarennesLakeHouse.dwg Plot Date: 10/28/2021 12:02 PM Credits: 0
 File Path: C:\Users\mccall\OneDrive\Documents\KenDesGarennesLakeHouse.dwg
 File Name: 2005_P:\Projects\mccall\mccall\KenDesGarennesLakeHouse.dwg Plot Date: 10/28/2021 12:02 PM Credits: 0

NO.	REVISION	BY	DATE	DESIGN

**PRELIMINARY
DRAFT NOT FOR
CONSTRUCTION**

CRESTLINE
ENGINEERS
 323 DEINHARD LANE, SUITE C - PO BOX 2330
 McCALL, IDAHO 83838
 208.634.4140 · 208.634.4146 FAX

KEN DESGARENNES LAKE HOUSE REMODEL
McCALL, IDAHO
 EXISTING CONDITIONS WITH PRELIMINARY SITE PLAN

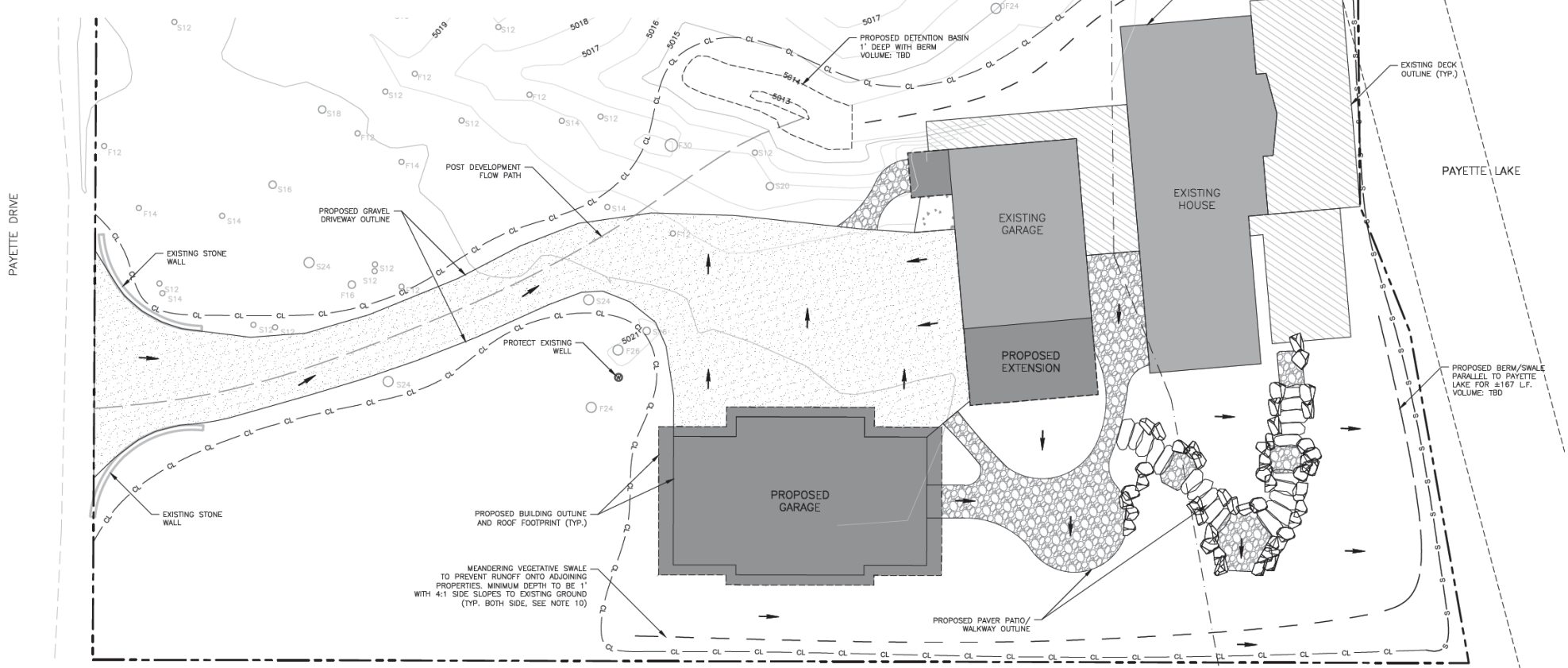
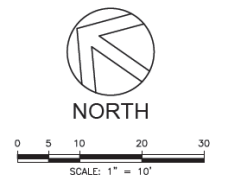
VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	21065
DATE	10/28/2021
DRAWING NO.	SHEET NO.
C-1	1 OF 2

NOTES:

- EXISTING TOPOGRAPHY AND PROPERTY BOUNDARIES AS SHOWN ON THIS PLAN ARE BASED UPON SURVEY DATA PROVIDED BY DROUJARD LAND SURVEYING, INC. PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN ARE BASED UPON DRAWINGS PROVIDED BY MCCALL DESIGN & PLANNING, INC.
- THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE EXISTENCE OF OBJECTS OR UTILITIES ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
- THE OWNER AND/OR THEIR SELECTED CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND APPROVED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AFTER THE PROJECT IS APPROVED.
- WATTLIES MAY BE USED IN PLACE OF SILT FENCE WHERE DETERMINED APPROPRIATE. SILT FENCE HAS BEEN SHOWN ON THE PROPERTY LINES IN SOME AREAS TO PREVENT ENCROACHMENT ONTO NEIGHBORING PROPERTIES.
- WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS.
- STAGING AREA(S) TO BE LOCATED BY CONTRACTOR ALONG WITH PORTABLE TOILETS, GARBAGE RECEPTACLES, CONCRETE WASHOUT, AND ALL OTHER CONTRACTOR FACILITIES.
- ALL SITE GRADING ADJACENT TO THE NEW RESIDENCE SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDING AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS.
- DRIVEWAY GRADES SHALL BE SLOPED AWAY FROM THE GARAGE AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6% FOR A DISTANCE OF NO LESS THAN TEN (10) FEET. GRADING OF THE DRIVEWAY SHALL BE IN ACCORDANCE WITH THE DIRECTION OF THE DRAINAGE FLOW DIRECTION ARROWS AS SPECIFIED IN THE STORMWATER MANAGEMENT PLAN.
- AREAS BETWEEN NEW RESIDENCE AND PROPERTY BOUNDARIES SHALL BE SLOPED TO INSURE RUNOFF IS KEPT ON-SITE. SWALES SHALL BE CONSTRUCTED ADJACENT TO/NEAR SIDE PROPERTY LINES TO PREVENT RUNOFF FROM FLOWING ONTO ADJOINING PROPERTIES. THESE SWALES ARE INTENDED TO BE FIELD FIT AND MEANDERED AROUND EXISTING VEGETATION AND SITE FEATURES AS NECESSARY.
- REVEGETATION AND STABILIZATION OF ALL DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECT'S LANDSCAPE DESIGN. IF A LANDSCAPE DESIGN/PLAN IS NOT AVAILABLE, DISTURBED AREAS SHALL BE REVEGETATED WITH A GRASS MIXTURE NATIVE TO THAT AREA.

LEGEND:

- 500s --- PROPERTY BOUNDARY
- - - - - EXISTING CONTOUR
- ▨ PROPOSED ROOF AREA
- ▨ PROPOSED GRAVEL DRIVEWAY
- ▨ PROPOSED PAVER PATIO/WALKWAY
- PROPOSED DRAINAGE FLOW DIRECTION ARROW
- PROPOSED DRAINAGE SWALE
- S SILT FENCE
- CL CONSTRUCTION/CLEARING LIMITS
- VEG PRESERVE EXISTING VEGETATION
- 24 EXISTING TREE W/DIA. IN INCHES
- 24 EXISTING WELL



NO.	REVISION	BY	DATE	DESIGN
				AMD
				DRAWN
				AMD
				CHECKED
				BEJ
				APPROVED
				BEJ

PRELIMINARY DRAFT NOT FOR CONSTRUCTION

CRESTLINE ENGINEERS
 323 DEINHARD LANE, SUITE C - PO BOX 2330
 McCALL, IDAHO 83638
 208.634.4140 • 208.634.4146 FAX

KEN DESGARENNES LAKE HOUSE REMODEL
 McCALL, IDAHO
 PRELIMINARY STORMWATER MANAGEMENT PLAN

VERIFY SCALE BAR IS ONE INCH ON FULL SIZE DRAWING 0 10 20 30	
PROJECT	21065
DATE	10/28/2021
DRAWING NO.	SHEET NO.
C-2	2 OF 2

File Path: \\10.10.10\mccall\Design\21065_PrelimStormwaterManagementPlan.dwg File Name: 21065_PrelimStormwaterManagementPlan.dwg Plot Date: 10/28/2021 12:29 PM Credits:

From: [Morgan Stroud](#)
To: [Courtney Bork](#); [Luke Vannoy](#)
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: DR21-41 - 2252 Payette Dr - Engineering Review #1
Date: Monday, December 20, 2021 11:40:00 AM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **DR21-41** and have the following comments and concerns.

1. Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. Finalizing the stormwater drainage report to include the dialog that explains the stormwater management plan, detention basin area sizing, and appropriate hydrographs and calculations.
 - b. Please provide information regarding existing stormwater conveyances for the existing structures and patio spaces on the property and how the proposed stormwater facilities will interact with them. If there are no existing facilities please show how the stormwater from these structures is being handled in your updated report and plans.
2. A detailed sitework and grading plan with spot elevations shall be provided for engineering review and approval, and incorporated with the architectural plans for construction. Temporary and permanent stormwater BMPs, as contemplated in the Stormwater Report shall be shown on the grading and drainage plan.
3. The grading, drainage and landscaping plan that were submitted for review do not provide contours or information south of the proposed buildings where stormwater improvements are being proposed. It is unclear how the proposed improvements will interact or effect the existing trees and vegetation.
4. Payette Drive is not City owned and is located within the County. The applicant will need to obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

Comments 1 through 3, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

Thank you,
Morgan Stroud, E.I.T. | Staff Engineer
216 E Park Street | McCall | ID 83638
Direct: 208.634.3458 | Cell: 208.315.2299



From: [Laura Shealy](#)
To: [Brian Parker](#)
Subject: Re: City of McCall Request for Comment - DR-21-41 - 2252 Payette Drive
Date: Monday, December 13, 2021 7:21:46 AM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian,

This project presents P & Z with it's biggest challenges; overseeing an extensive development directly on the shores of Payette Lake. The opportunity for pollution going directly into the lake is considerable. All precautions must be taken to divert stormwater run-off into Payette Lake during construction and after. The cabin sits very close and on a steep slope to the water. Please follow the Lake-A-Syst recommendations (City of McCall has this) for controlling potential erosion. Natural vegetation and native plants are recommended as landscaping tools to slow/prevent erosion. Hardscapes like boulders and cement paths are discouraged.

Thank you,
Laura Shealy
Big Payette Lake Water Quality Council

On Fri, Dec 3, 2021 at 2:15 PM Brian Parker <bparker@mccall.id.us> wrote:

Please provide comment on the attached application by **December 17, 2021**.

Thank you,

Brian Parker, AICP | City Planner

216 E. Park Street | McCall | Idaho 83638

Direct: 208.634.4256 | Fax: 208.634.3038



Web: mccall.id.us

Blog: mccallcitysource.com

Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)



Keeping citizens informed.

[Please click to sign up for CodeRED!](#)



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

December 8, 2021

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: DR-21-41, SH-21-15, 2252 Payette Drive.

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. There is a sewer service connection for the existing structure and a manhole in the area of construction, the sewer service connection and manhole shall be protected from damage during construction of the proposed improvements to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. No plumbing shall be allowed in new shop/garage.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink that reads "Dale Caza".

Dale Caza
Manager, Payette Lakes Recreational Water and Sewer District
Email: dcaza@plrwsd.org

December 26, 2021

To: Brian Parker, City Planner

216 East Park Street

McCall, Idaho 83638

I am a property owner in McCall, who just received a Notice of a Public Hearing to be held by the McCall Area Planning and Zoning Commission on January 4th, 2022. The action item is listed as DR-21-41 &SH-21-15, for 2252 Payette Lake Drive. The application is for the construction of a new 1,491 square foot detached garage/shop building, a remodel to the existing home, as well as a new patio, walkway, covered deck and driveway. My residence is directly across the street on an upland lot at 955 Pine Haven Place, McCall. I do not intend on attending the hearing, so please consider my written comments.

Over the last two years, there have been three major construction jobs within very close proximity to my house that have significantly impacted my family, as well as the neighborhood with large trucks making multiple (upward of 20 a day) trips, dust, noise and deterioration of the road. It is very difficult to be able to sit outside at your home and enjoy the summer day when large trucks are constantly driving up and down the roads. We also had our property damaged by inappropriate disposal of debris and building material on our lot. Due to the shortage of supplies and workers, these jobs have gone on for up to three years.

When the large homes on the lake expand their homes and add additional structures to their lots, it increases the density of structures along the lake as well as decreasing the open space between the homes and the views out toward the lake for the upland lots, which in turn impacts our value. The beauty and value of the neighborhood is dependent on the natural beauty of the area by maintaining a majority of the space as natural as opposed to structures. Preservation of the trees and maximizing the views of Payette Lake is important for everyone.

I am not recommending a denial of this project but rather presenting concerns related to this project and others of this kind, as well as making recommendations for conditions of approval for such projects.

My recommendations include:

- Minimizing the number of trees that are removed.
- Considering the height as well as the proportion/density of structures to the area of the lot and space between homes.
- Being considerate of blocking view access of the lake from upland lots.
- Limiting the number of daily truck trips through the neighborhood.
- Requiring the project to maintain the dust and condition of the road during and following the project.
- Limiting the number of projects that are approved at one time in a neighborhood, while considering the size and time needed for the project completion.

Thank you for hearing my concerns and considering my recommendations. I respect the right of the property owner to make improvements to their home. I also value my relationship with my neighbors, so I don't want to cause any ill feelings between us. I think my neighbors would agree that the beauty and enjoyment of living in the neighborhood is worth maintaining for everyone.

Sincerely,

Robin N. Carter and Jonathan P. Carter

955 Pine Haven Place

McCall, Idaho 83638

rncarter1@msn.com

208-631-5026

From: [BessieJo Wagner](#)
To: [Brian Parker](#)
Subject: FW: Letter of Interest | McCall Planning and Zoning Commissioner
Date: Thursday, December 9, 2021 9:36:45 AM

From: austin brown <austin@soignehomes.com>
Sent: Thursday, December 9, 2021 9:15 AM
To: BessieJo Wagner <bwagner@mccall.id.us>
Subject: Letter of Interest | McCall Planning and Zoning Commissioner

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern,

I am writing to express my interest in serving on the McCall Area Planning and Zoning Commission and filling a vacancy for the Impact Zone.

I was born and raised in McCall and have lived in the impact zone for the last three years. I have witnessed firsthand the growth this area has seen and would love to be a part of weaving the past version of McCall with the future. I have a strong passion for improving the built environment in McCall and as a McCall Native and Builder, I bring with me a great perspective. I am confident we can preserve the aspects of McCall that make it McCall while growing in a healthy and intentional way.

I have a strong commitment to public service. I believe all citizens should take the opportunity to serve their communities in whatever way possible. Serving as a Planning and Zoning Commissioner would be a great fit for my interest and experience. As a builder, I am well versed in current planning and zoning regulations and comfortable making recommendations based on experience while respecting the regulations in place.

I look forward to connecting on the next steps. Please do not hesitate to reach out with any questions or for additional information on my qualifications.

Thank you,

Austin Brown

Soigne Homes

406.551.5335

austin@soignehomes.com

From: [BessieJo Wagner](#)
To: [Brian Parker](#)
Subject: FW: McCall P&Z Impact zone Representative
Date: Friday, December 10, 2021 9:54:12 AM

From: Tom Mihalfeith <tom.coalesce@gmail.com>
Sent: Thursday, December 9, 2021 4:10 PM
To: BessieJo Wagner <bwagner@mccall.id.us>
Subject: McCall P&Z Impact zone Representative

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom it May Concern,

My name is Tom Mihalfeith, I live at 1175 S. Samson Trail In the City of McCall Impact Zone. I would like to enter myself for consideration for the City of McCall Impact Zone P&Z position that is to be filled.

I believe I would be a good fit for this position because I have a extensive background with land development experience. I have worked in many different municipalities with a variety of property owners that has introduced me to a variety of perspectives regarding land use and ways to balance the needs of the many stakeholders and negotiations that work towards equitable consensus that respects the towns' future growth plans and wants/needs of landowners and town constituents. These discussions can be difficult but I feel that I could bring my experience a cool head and perspective to help in positive discourse.

I am a 5th generation Idahoan and am proud of my rural roots and Idaho's mountain western character. I am an outdoorsman that loves to ski, mountain bike and enjoy our open spaces. I am for responsible development that takes into account aesthetics that beautify the place we live and accentuate it's natural assets. It is important to work with the needs of the community in mind as we consider our growth and future.

There is no doubt that McCall is on the radar for desirable places to be. Along with this comes many groups and individuals with plans to develop the area. It is important that as we work through propose concepts and ideas that we keep in mind our roots and character that make this place desirable, while trying to address the challenges that this growth brings. I feel like I could be a force for good in this realm using my experience and perspective to build consensus that guides development to articulate future growth goals and lead towards an agreeable aesthetic for all to experience.

Your consideration is greatly appreciated.

Respectfully Submitted,

Tom Muhlfeith, CCM

Tom.Coalesce@gmail.com

208-871-2705

BessieJo Wagner
City Clerk
216 E Park Street
McCall, ID 83638

December 7, 2021

MS Wagner,

At this time, I would like to submit my letter of interest for the vacant position representing the impact zone for the McCall Area Planning and Zoning Commission.

We purchased our home in McCall, (97 Coy Rd) January 2018 and have been in residence (year-round) since March 2018. I work in our community at the McCall Community Senior Center, which provides numerous services not only to our elderly residents but all in our community regardless of age. My mother loves this community, and we are committed to be here in McCall for many years.

My career has been centered in the Foodservice/Hospitality industries and over the last decade focusing on seniors in long term care as Director of Dining Services. While my career experience has not been in city planning, I do believe I have unique insight that can be helpful to Planning & Zoning.

From 1996 – 2015 I was a resident/homeowner in Stateline, NV, South Lake Tahoe. During this time, I managed a multi-million dollar sales territory for a national Foodservice Distributor. Currently I see McCall suffering from the very same issues that made the mountain town where I raised my family unrecognizable today. I would hate to think I moved to this wonderful area just to witness the same fate.

I realize I come with no practical experience in city management but would very much like to become involved, to listen, to learn, to protect and maybe even be a voice of reason.

I would love to discuss the opportunity further. Thank you in advance for your consideration.

Dawn Havens
97 Coy Rd McCall
530.305.6790 dmhlt@hotmail.com

**2022 BYLAWS, PRACTICES AND PROCEDURES
McCall AREA PLANNING AND ZONING COMMISSION**

**ARTICLE I
ESTABLISHMENT**

Section 1. Establishment:

The McCall Area Planning and Zoning Commission (hereinafter called the Commission) is established by authority of Idaho Code. The office shall be located in the McCall City Hall Building at 216 E. Park Street, McCall, ID 83638, telephone: (208) 634-7142.

**ARTICLE II
MEMBERSHIP AND OFFICERS**

Section 1. Membership:

The Commission shall consist of seven (7) voting members; four appointed by the City Council and three appointed by the Valley County Board of Commissioners. The term of office for each appointive member shall be three (3) years.

Section 2. Officers, Number, Qualifications and Duties:

The officers of the Commission shall be a Chairperson and a Vice-Chairperson. The Chairperson shall be elected by and from among the members of the Commission. The member of the Commission most senior in longevity (not including the Chairperson) shall be designated as and serve as Vice Chairperson. The duties of such officers shall be such as are usually performed by such officers in similar organizations and as defined by the parliamentary authority adopted by the Commission in Article IV, Section 1, of these Bylaws, as well as the following:

A. Chairperson:

1. Preside at all meetings of the commission.
2. Sign documents of the commission.
3. Assure that all actions of the commission are properly taken.
4. Make committee appointments as required.

B. Vice-Chairperson:

During the absence, disability or disqualification of the Chairperson, the Vice-Chairperson shall exercise or perform all duties and be subject to all the responsibilities of the Chairperson.

Section 3. Election and term of Office, Vacancies:

Officers shall be elected by majority vote of the members of the Commission annually at the first Commission meeting of each calendar year, and shall serve a term of one year or until their successors are elected. Vacancies in officer positions shall be filled by election whenever they occur, at the meeting next following the occurrence of the vacancy in the manner provided for election of officers in this section.

Section 4. Resignation:

Any officer may resign at any time by giving written notice of such resignation to the Commission. Unless otherwise specified in such written notice, such resignation shall take effect upon receipt by the Commission, and the acceptance of such resignation shall not be necessary to make it effective.

Section 5. Removal:

Any officer may be removed, with or without cause, upon a vote of a majority, but no fewer than three, of the voting members of the commission. A successor may be elected for the filling of vacancies at any time.

Section 6. Secretary:

The Commission will be staffed by the Administrator, or his/her designee. In addition to providing customary technical support, staff will perform the following duties of Secretary:

1. Keep the minutes of all meetings of the Commission.
2. Advertise all legal notices required by the Idaho State Code or these bylaws.
3. Prepare the agenda for all meetings of the Commission.
4. Be custodian of Commission records.

**ARTICLE III
MEETINGS**

Section 1. Regular Meetings:

The Commission shall meet on the first Tuesday of each month for a regular meeting. The regular monthly meeting may be scheduled for another date in order to not conflict with holidays or significant local or civic events. Meetings shall be held at the hour and place fixed from time to time by motion of the Commission or at the Hour of 4:30 P.M. at the Legion Hall, McCall, Idaho if no other time or place is so fixed. The Secretary will publish and distribute to the members an agenda on or before the Friday before the meeting. In the event there is no business to transact, the meeting will be cancelled. The absence of an agenda serves in lieu of a notification of cancellation.

Section 2. Quorum:

At all meetings of the Commission the presence at the commencement of any meeting in person of four (4) appointed members shall be sufficient to constitute a quorum for the transaction of any business of the commission.

**ARTICLE IV
RULES OF ORDER**

Section 1. Rules of Order:

The Commission shall operate under the general precepts of the current edition of *Robert's Rules of Order Newly Revised*. The order of business for the Commission shall be the following:

- A. Open-call meeting to order
- B. Attendance roll call

- C. Minutes
- D. Presentation of preliminary application plans
- E. Consent agenda
- F. Old Business:
 - 1. Approval of Findings of Fact and Conclusions of Law from previous decisions
 - 2. Public hearings - continued
 - 3. Other items
- G. New Business:
 - 1. Preliminary Plats, Final Plats
 - 2. Conditional Use Permit applications
 - 3. Design Reviews
 - 4. Other items
- H. Other Items
 - 1. Correspondence
 - 2. Committee reports
 - 3. Miscellaneous

ARTICLE V VOTING

Section 1. Voting:

Each regularly appointed member shall be entitled to one vote on any matter which may come before the Commission. The vote of a majority of the members present at any meeting attended by a quorum of its members shall be necessary to decide any item. The Chairperson may enter into the discussion of and vote on any item before the Commission.

Section 2. Tie Votes Concerning Recommendation to City Council or Valley County Board of Commissioners:

Upon a vote to recommend approval or disapproval of a proposed action to the governing board, a vote which results in a tie shall automatically require that a recommendation of disapproval to the proposed action be forwarded to the City Council for properties within the City Limits or Valley County Board of Commissioners for properties within the McCall Impact Area.

ARTICLE VI AGENDA

Section 1. Agenda

In order to facilitate and conduct orderly business, the members of the Commission resolve: For those persons desirous of coming before this body, a list of particulars shall be submitted to the Administrator stating the reason or reasons why they wish to be heard, in order to facilitate this process and give proper notice to all persons who may be affected and therefore giving them an opportunity to be heard. Any request presented in this manner will be drawn up and published and/or aired through various media to inform the public of business presented. All requests received will be heard in the same order in which received and in keeping with the order of business outlined in Article IV above, i.e., first request received will be heard first, etc. Those requests which require public advertising will be set on the agenda for the first regular meeting

following public noticing. Applications will be deemed received when in hand by Commission members at the regular meeting.

Section 2. Procedure:

Procedure for considering individual agenda items will normally be observed; however, the Chairperson may rearrange individual items if necessary to expedite the conduct of business.

1. Applicant presents scope and summary of project.
2. Staff presents report with opinions upon request.
3. The Commission may ask questions regarding the staff or applicant presentation.
4. Public hearings, if appropriate and posted.
5. Proponents of the agenda items make presentation.
6. Opponents make presentation.
7. Proponent may make rebuttal of any point previously covered.
8. Commission may ask questions of the proponents, opponents, or staff, and discuss the application.
9. Motion (to approve, disapprove, or table), Second, Discussion, and Vote of the Commission.
10. Written Findings of Fact and Conclusion of Law shall be made available to interested parties within ten (10) days after the meeting.

No new agenda item shall be started after 8:30 P.M., unless consented to by an affirmative vote of the Commission. Items previously posted will be rescheduled for the next meeting.

**ARTICLE VII
COMMITTEES**

Section 1. Committees:

Committees may be established and appointed and given charge and timelines by the Chairperson to assist the Commission in performance of its function. Each committee shall consist of not more than two (2) voting members. Citizens and public officials may also be appointed to serve as non-voting members on the committees.

**ARTICLE VIII
AMENDMENT OF BYLAWS**

Section 1. Amendments:

These Bylaws may be amended at any regular meeting of the Commission by a two-thirds vote of the members thereof.

Adopted this 4th day of January, 2022.

_____, Chairperson